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## **SPECIAL PLANNING AND LAND USE COMMITTEE**

### **Tuesday July 29, 2025 at 7:00 pm**

**Held via Zoom meeting online or by telephone**  
Zoom web link for this meeting is <https://us02web.zoom.us/j/86204703866>

Dial 1-669-900-6833 to join the meeting and then enter **webinar ID 862 0470 3866** and **press #** (press **\*9** to request to speak, **\*6** to unmute yourself)

**Salim Mhunzi**  
**Arvie Powell**

**Committee Members**  
**Rosalie Preston**  
**Janeshia Robinson**  
**Rebecca Rodriguez**

**Nanci Torres**  
**Dave Trejo**  
**Luetta Watson**

Si requiere servicios de traducción, favor de avisar al Concejo Vecinal 3 días de trabajo (72 horas) antes del evento. Por favor contacte nosotros al (310) 768-3853 o por correo electrónico [info@harborgatewaynorth.org](mailto:info@harborgatewaynorth.org) para avisar al Concejo Vecinal.

IN CONFORMITY WITH THE OCTOBER 6, 2023 ENACTMENT OF CALIFORNIA SENATE BILL 411 (PORTANTINO) AND LA CITY COUNCIL APPROVAL ON NOVEMBER 1, 2023, THE HARBOR GATEWAY NORTH NEIGHBORHOOD COUNCIL MEETING WILL BE CONDUCTED VIRTUALLY.

Every person wishing to address the Board must **dial 1-669-900-6833**, and **enter 862 0470 3866** and then **press #** to join the meeting. When prompted by the presiding officer, to provide public input at the Neighborhood Council meeting the public will be requested to dial **\*9** or use the Raise Hand option, to address the Board on any agenda item before the Board takes an action on an item. Comments from the public on agenda items will be heard only when the respective item is being considered.

## **AGENDA**

- 1) Welcome/call to order/roll call (quorum is 5 members)
- 2) Appointment of Committee officers
  - a) Chair **Vote**
  - b) Vice Chair **Vote**
  - c) Secretary **Vote**
- 3) General public comment on non-agenda items that are within the Neighborhood Council's subject matter jurisdiction. Each speaker will be allowed 2 minutes per speaker-press **\*9** to request to speak, **\*6** to unmute yourself
- 4) Approval of minutes from the July 1, 2025, Committee meeting **Vote**
- 5) Comment letter on 700 W. 120<sup>th</sup> Street apartments – 50 units with no parking,

ADM-2024-4937-DB-VHCA-ED1, with recommendation to the HGNNC Board **Vote**

- 6) Further discussion of a comment letter on the proposed 6-story, 111-unit apartment building with 85 parking spaces and 18 affordable units, 11516 S. Vermont Avenue, CPC-2025-2171-CU3-DB-VHCA; ENV-2025-2172-EAF, in District 6, with possible recommendation to the HGNNC Board **Vote**
- 7) Reports on other planning and land use issues
  - a) Prologis warehouse Vermont Redondo project: two appeals filed
  - b) Update on oil well issues: continuing unexplained water near a curb on 129<sup>th</sup> Street
  - c) Re-opening of Arco gas station, 854 W. El Segundo Blvd.
  - d) ED1 projects
    - i) 1134 E. 120<sup>th</sup> Street
    - ii) 11840 S. Central Avenue
  - e) SOLA Impact projects: 110 W. Imperial Highway and 248 W. Imperial Highway
  - f) Harbor Gateway Community Plan update-before the PLUM Committee in August/September with Council File 25-0775
  - g) Other Planning and Land Use issues
- 8) Announcements—new Committee member must view Planning 101 video

Adjournment - next meeting date

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and upon request will provide reasonable accommodation to ensure equal access to its programs, services, and activities. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or services may be provided upon request. To ensure availability of services, please make your request at least 3 business days (72 hours) prior to the meeting by contacting the Department of Neighborhood Empowerment by calling (213) 978-1551 or email: [NCsupport@lacity.org](mailto:NCsupport@lacity.org)

#### **Public Posting of Agendas -**

Neighborhood Council agendas are posted for public review as follows:

- 135<sup>th</sup> Street School, 801 W. 135<sup>th</sup> Street, Gardena, CA 90247
- [www.harborgatewaynorth.org](http://www.harborgatewaynorth.org)
- You can also receive our agendas via email by subscribing to L.A. City's [Early Notification System \(ENS\)](#)

#### **Notice to Paid Representatives -**

If you are compensated to monitor, attend, or speak at this meeting, City law may require you to register as a lobbyist and report your activity. See Los Angeles Municipal Code Section 48.01 et seq. More information is available at [ethics.lacity.org/lobbying](http://ethics.lacity.org/lobbying). For assistance, please contact the Ethics Commission at (213) 978-1960 or [ethics.commission@lacity.org](mailto:ethics.commission@lacity.org)

#### **Public Comment**

Comments from the public on other matters not appearing on the agenda that are within the Board's jurisdiction will be heard during the General Public Comment period. Please note that under the Brown Act, the Board is prevented from acting on a matter that you bring to its attention during the General Public Comment period; however, the issue raised by a member of the public may become the subject of a future Board meeting. Public comment is limited to two minutes per speaker, unless

adjusted by the presiding officer of the Board.

### **SB 411 Updates:**

In the event of a disruption that prevents the eligible legislative body from broadcasting the meeting to members of the public using the call-in option or internet-based service option, or in the event of a disruption within the eligible legislative body's control that prevents members of the public from offering public comments using the call-in option or internet-based service option, the eligible legislative body shall take no further action on items appearing on the meeting agenda until public access to the meeting via the call-in option or internet-based service option is restored. Actions taken on agenda items during a disruption that prevents the eligible legislative body from broadcasting the meeting may be challenged pursuant to Section 54960.1.

The eligible legislative body shall not require public comments to be submitted in advance of the meeting and shall provide an opportunity for the public to address the legislative body and offer comments in real time.

Notwithstanding Section 54953.3, an individual desiring to provide public comment through the use of an internet website, or other online platform, not under the control of the eligible legislative body, that requires registration to log in to a teleconference may be required to register as required by the third-party internet website or online platform to participate.

(i) An eligible legislative body that provides a timed public comment period for each agenda item shall not close the public comment period for the agenda item, or the opportunity to register, pursuant to subparagraph , to provide public comment until that timed public comment period has elapsed.

(ii) An eligible legislative body that does not provide a timed public comment period, but takes public comment separately on each agenda item, shall allow a reasonable amount of time per agenda item to allow public members the opportunity to provide public comment, including time for members of the public to register pursuant to subparagraph (D), or otherwise be recognized for the purpose of providing public comment.

(iii) An eligible legislative body that provides a timed general public comment period that does not correspond to a specific agenda item shall not close the public comment period or the opportunity to register, pursuant to subparagraph (D), until the timed general public comment period has elapsed.

### **Public Access of Records -**

In compliance with Government Code section 54957.5, non-exempt writings that are distributed to a majority or all of the board in advance of a meeting may be viewed at Harbor Gateway North Neighborhood Council office 205, 555 W. Redondo Beach Blvd., at our website: [www.harborgatewaynorth.org](http://www.harborgatewaynorth.org) or at the scheduled meeting. In addition, if you would like a copy of any record related to an item on the agenda, please contact our Secretary at (310) 768-3853 or email at: [info@harborgatewaynorth.org](mailto:info@harborgatewaynorth.org)

### **Reconsideration and Grievance Process -**

For information on the NC's process for board action reconsideration, stakeholder grievance policy, or any other procedural matters related to this Council, please consult the NC Bylaws. The Bylaws are available at our Board meetings and our website [www.harborgatewaynorth.org](http://www.harborgatewaynorth.org)

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Dave Trejo - District 3 Representative  
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Eva Cooper Pace - District 5 Representative



Marvin Bell - District 6 Representative  
Barbara Tyson-Frazier - District 7 Rep  
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Frankie Mays - Outreach/Communications  
Clifford McClain - At-Large Representative

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August 6, 2025

Vince Bertoni, Director of Planning  
Department of City Planning  
200 N. Spring Street  
Los Angeles, CA 90012

Re: 700 W. 120<sup>th</sup> Street apartments (ADM-2024-4937-DB-VHCA-ED1)

Dear Mr. Bertoni:

On August 4, 2025, the Harbor Gateway North Neighborhood Council Board voted x-x-x to submit this comment letter on the proposal for a 50-unit, including 39 units for Low Income Household occupancy and 10 units for Moderate Income Households occupancy, and one market-rate manager's unit. The building will be four-story, 43 foot and 6 inch tall, with no off-street parking or bicycle parking on a lot zoned RD2-1XL (low medium II density residential; 30 foot height limit) at 700 W. 120<sup>th</sup> Street.

The project was approved as ADM-2024-4937-DB-VHCA-ED1 in a Letter of Compliance dated November 14, 2024. As the certified Neighborhood Council representing the area, we only learned of this project when, on behalf of the Senior City Planner Connie Chauv, Administrative Clerk Eugenio Guzman sent us a copy of the Letter of Compliance via email on November 14 and then we received a Notice of Demolition from the Department of Building and Safety dated December 11, 2024, mailed to our P.O. Box, for the demolition of the existing single family home and detached garage. The City approved the project as ministerial under Executive Directive 1 (ED1), avoiding public hearings and CEQA review. No notice was provided to the surrounding community and there was no opportunity for the community and Neighborhood Council to meet with the developer to provide feedback and possible improvements to the project in relation to its site next to an R-1 zoned neighborhood and low-scale apartment building to the west of the project site and low-scale duplexes on the north side of 120<sup>th</sup> Street. We also wish to note that the HGNNC Planning and Land Use Committee reached out to the applicant representative Mr. Youssefzadeh via email on January 6 requesting that he attend the January 30 Planning and Land Use Committee meeting to review the design, landscaping, construction timeline, and parking issues related to the project not providing any parking spaces, but he never responded.



The Harbor Gateway North Neighborhood Council area is a mostly residential community that supports the creation of additional housing, including affordable housing, within our boundaries. However, we believe that such housing can be built in a thoughtful manner that does not create undesirable impacts to the surrounding neighborhood and without being incompatible with existing structures in height, FAR, and design. The following are our major concerns with this project which we would have liked to discuss with the applicant to help moderate the impact of this project:

- 1) The lack of any open space provided within the project is one of our major concerns.

The Harbor Gateway North area has long been an area with a noted lack of open space. Both our current, outdated Harbor Gateway Community Plan (issue p. 4: “lack of open space and recreation areas in new apartment projects”) and the proposed updated Harbor Gateway Community Plan (LU Goal 18.20 “Configure buildings around interior courtyards, outdoor passages (paseos), and arcades that can be seamlessly integrated with the public realm and open spaces”) that will be scheduled for review before the City Council’s PLUM Committee in the coming months state the need for creation of open space.

- 2) The lack of any provided parking spaces on site which will create an adverse impact to the surrounding community. Even though the nearby Vermont Avenue and Metro C Line stop are within walking distance of this project, it seems likely that a number of residents will own vehicles which will end up being parked on the residential streets to the south and north of the project. Already in many areas of our Neighborhood Council, residents living near multi-family housing, even those that provide parking spaces, find an increased number of vehicles being parked on streets some blocks from that housing. Even after many years of progress in developing the Metro system and improving bus transportation, the reality is that the City of Los Angeles does not have an adequate public transportation system and this forces even lower-income residents to rely on private vehicles for transportation for work, shopping, and recreation. The lack of adequate parking in multi-family housing creates parking issues within residential neighborhoods and a lot of conflict which we hear about at many of our Neighborhood Council meetings. We often see double parking on residential streets and parking in the medians of major streets as a result of the state laws allowing for reduced parking spaces in apartment buildings and for ADUs. Residents often keep their black, blue, and green bins at the curb to preserve a parking space for their family or place cones or other obstructions for others trying to park in front of their homes.

- 3) The lack of any bicycle parking spaces within the project. For those residents who will solely rely on nearby public transportation, many will need a bicycle to take on the bus or Metro so that on reaching the end of their bus or train ride they can more easily reach their final destination. Without bicycle parking, they will have to store the bicycle in their apartment.

- 4) Incompatibility with the surrounding community to the south and north. The current zoning allows for a 30 foot height whereas the project will be 43 feet and six inches. The height will impact the privacy of the homes to the south and the existing two-story apartment building to the west.

- 5) The Letter of Compliance states that “The project does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical Cultural

Monuments.” However, the project is located on the northern edge of the Athens on the Hill community, which is currently under active consideration for historic designation (Council File 23-1057, introduced by Los Angeles City Councilmember Tim McOsker).

6) We also note our concern that provisions of AB 686 are being violated, specifically the approval of this project is a “failure to affirmatively further fair housing by concentrating low-income units in a historically Black neighborhood without analysis.”

In conclusion, this is a project that if we had been able to review and provide input on before the administrative approval by the Department of City Planning, we would not have supported as presented for the reasons listed above and therefore, we support the efforts of the Athens Boulevard Block Club to challenge the approval via a lawsuit on the basis of failure to evaluate the environmental impacts per CEQA, improper waivers for setbacks, density, and open space per LAMC §12.22 and zoning laws, due process and transparency violations per the Constitution of the State of California, and failure to affirmatively further fair housing by concentrating low-income units in a historically Black neighborhood without analysis per AB 686.

We would also like to note that when the case number is typed into the Department of City Planning website, the case is not found and therefore the application documents and Letter of Compliance cannot be found, so that we cannot view details of the proposal as submitted.

Respectfully,

Joan Jacobs, Chairperson  
Harbor Gateway North Neighborhood Council

cc: Mayor Karen Bass

Jocelyn Dominguez, Manager of Community Engagement – Mayor Karen Bass  
Councilmember Tim McOsker – Council District 15  
Pamela Thornton, Planning Director – Council District 15  
Rudy Martinez, Field Deputy – Council District 15  
Tal Finney - Finney Arnold LLP  
Shaune Arnold – Finney Arnold LLP

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August 14, 2025

City Planning Commission  
City Hall  
200 N. Spring Street, Room 272  
Los Angeles, CA 90012-4801  
ATTN: Monique Lawshe, President

Re: 11516 S. Vermont Avenue, CPC-2025-2171-CU3-DB-VHCA; ENV-2025-2172-EAF

Dear President Lawshe:

On August 12, 2025, the Harbor Gateway North Neighborhood Council Board voted x-x-x to submit this comment letter to express our concerns about the proposed six-story, 111 unit apartment building at 11516 S. Vermont Avenue, Los Angeles, CA 90044 (CPC-2025-2171-CU3-DB-VHCA; ENV-2025-2172-EF), with 18 affordable units. This letter also includes our recommendations to make it a better project with less impact on the single-family homes (R1-1 zone) to the north and east which would be over-looked by this very tall building.

Our major concerns are as follows:

- Although allowed under AB 1287, the proposed granting of a density bonus of greater than 35% per LAMC Section 12.22 A.25 of Chapter 1 for a site that is located next to the westbound off-ramp of the 105 Century freeway and on a narrow lot that would tower over the abutting residential neighborhood to the north and east, resulting in an adverse impact on those residents' quality of life as well as creating an adverse quality of life for the new residents of the project.
- The lack of adequate parking for so many units (65 resident parking spaces and 20 guest parking spaces), which will inevitably result in parking of even more vehicles on nearby residential streets where there are already tensions over street parking.
- The location so close to the 105 Century freeway westbound off-ramp onto Vermont Avenue. We are the Neighborhood Council whose advocacy related to similar issues for a different proposed project close to the 91 Artesia freeway and the 110 Harbor freeway

resulted in the 1,000 foot Freeway Adjacent Advisory Notice ZI 2427 (September 17, 2018) for residential buildings; we note how weak that Notice is and how it badly needs to be updated and strengthened. All residential housing should be prohibited within 500 feet of any freeway.

- The lack of outdoor space for the residents, especially for any children and pets.
- The minimal amount of proposed trees and other landscaping to help off-set the location next to the freeway off-ramp.
- Misinterpretation of many of the Findings for the Citywide Design Guidelines which the applicant submitted. For example, under **Guideline 1: Pedestrian First Design**, the applicant has referred to the provision of two interior courtyards and a roof deck while this Guideline is intended for the applicant to consider the impact of the project on “design strategies that create human-scale spaces in response to how people actually engage with their surroundings, by prioritizing active street frontages, clear paths of pedestrian travel, legible wayfinding, and enhanced connectivity.”

Our recommendations for improvements are:

- 1) No waiver of the encroachment plane, which should be required at 20 feet in height from existing or finished grade next to the R1-1 zone.
- 2) No waivers for the following standard set-backs
  - a) Rear yard reduction from 15 feet to 5 feet
  - b) Side yard reduction from 9 feet to 5 feet
  - c) Side yard set back from 9 feet to 5 feet
  - d) Alley side yard set back from 9 feet to 1 foot
- 3) No reduction in the required open space from 12,050 square feet to 4,529 square feet. Currently the only open space proposed is the rooftop deck.
- 4) No reduction in long-term bicycle parking from 80 parking spaces or short-term (guest) bicycle parking from 8 parking spaces utilizing bike racks on the walls of the parking garage and/or bike lockers or a designated bicycle parking room.
- 5) Windows for apartments on the north side of the building and east side placed high up on the walls and narrow and rectangular in shape to help create privacy for those living below in the R1-1 zone.
- 6) Improved exterior design with more articulation and different types of exterior finishes, such as stone, metal and metal mesh, wood, as well as stucco, as well as architectural elements that reduce the perceived mass of this very large project.
- 7) Different exterior paint color(s), such as light golden beige with a lighter brown, shades of light green, or light blue to help the building better blend into the surrounding neighborhood;

white paint surfaces end up looking dirty while the deep gray color will make the building appear more prominent in the landscape than necessary for the R1-1 residents.

8) Substantial vegetation (trees and shrubs) along the freeway off-ramp side of the building as well as a sound wall covered with vines. At least 28 trees should be required on the property. In contrast, the applicant in addressing **Citywide Design Guideline 7: 360 Degree Design** “Carefully arrange design elements and uses to protect site users” states that “a block wall will be constructed along the southern property line to shield users closest to freeway.” The Guideline suggests utilizing “landscaping and/or berms to buffer occupants from nearby nuisances that emit noise and/or pollutants.”

9) Re-orientation of the building so that the building is placed very close to Vermont Avenue with the vehicle entrance right into the parking garage (which would include the 20 guest parking spaces), so that the open space is situated on the east side of the building, ensuring privacy for more of the R1-1 residents. This would more closely align with Citywide Design Guideline 4: “Locate and shape buildings to minimize disrupting users of neighboring buildings” and “Minimize shadows and unnecessary shading on surrounding buildings, parks, and open spaces.”

10) Closure of access to the 700 block of W. 115<sup>th</sup> Street from east of the alley using bollards or concrete barrier.

We also note that there are several contradictory statements from the applicant when comparing the application and what we were told at the May 6, 2025, Planning and Land Use Committee meeting, including:

1) that the entrance to the project for vehicles would be from a driveway on the Vermont Avenue side of the property, with a security gate, while in the Findings part of the application, under Pedestrian-First Design Guideline 2 (Carefully incorporate vehicular access such that it does not degrade the pedestrian experience), Sheet A.1-00. the applicant states that “the project will incorporate the alley to the north (coming down from 115<sup>th</sup> Street) for use as the vehicular point of access to the site.” The Site Map also seems to show vehicle access from the alley.

2) that 100 bicycle parking spaces would be provided, to encourage residents to use them for transportation rather than owning vehicles, while one of the waivers requested is to have zero bicycle parking spaces for residents and guests.

We also wish to note that while the applicant representative came to the May 6, 2025 Planning and Land Use Committee meeting which was held virtually, no one from the company was present at subsequent meetings.

Respectfully,

Joan Jacobs, Chairperson  
Harbor Gateway North Neighborhood Council

cc: Councilmember Marqueece Harris-Dawson – Council District 8  
Terri Osborne, Planning Deputy – Council District 8  
Laura Garcia, Field Deputy - Council District 8

DRAFT



**DEPARTMENT OF  
CITY PLANNING**

COMMISSION OFFICE  
(213) 978-1300

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DEPUTY DIRECTOR

November 14, 2024

**Applicant/Owner**

Amir Deris  
12925 Riverside Drive, Suite 302  
Sherman Oaks, CA 91423

**Representative**

Matthew Thompson  
JDJ Consulting Group  
12925 Riverside Drive, Suite 302  
Sherman Oaks, CA 91423

**Case No.** ADM-2024-4937-DB-VHCA-ED1

**Related Case:** N/A

**CEQA:** N/A

**Location:** 700 West 120<sup>th</sup> Street

**Council District:** 15 – McOsker

**Community Plan Area:** Harbor Gateway

**Specific Plan:** South Los Angeles Alcohol Sales

**Land Use Designation:** Low Medium II Residential

**Zone:** RD2-1XL

**Legal Description:** FR 14, Arb 1, Block 1, Athens Tract

**LETTER OF COMPLIANCE – MINISTERIAL ON-MENU, OFF-MENU DENSITY BONUS INCENTIVES AND WAIVER OF DEVELOPMENT STANDARD**

Pursuant to the California Government Code Section 65915, and the Los Angeles Municipal Code (LAMC) Section 12.22 A.25, I have reviewed the proposed project and as the designee of the Director of Planning, I hereby:

**DETERMINE**, that the project qualifies as a ministerial review, pursuant to Resolution (CF 22-1545) relative to the Declaration of Local Emergency by the Mayor, dated December 12, 2022, concerning homelessness in the City of Los Angeles, pursuant to the provisions of the Los Angeles Administrative Code (LAAC) Section 8.27, adopted by the City Council on December 13, 2022 and Executive Directive 1 dated December 16, 2022 (revised July 7, 2023).

**APPROVE** a **Density Bonus Compliance Review** for a 100% Affordable Housing Development (as defined in CA Govt. Code Section 65915(b)(1)(G)), for a project totaling 50 dwelling units, reserving one (1) Manger's Unit, 39 units for Low Income and 10 units for Moderate Income household occupancy for a period of 55 years. As the project has requested a waiver from maximum controls on density, the project is allowed five (5) incentives and one waiver (pursuant to CA Govt. Code Section 65916(e)(3)) and the following are granted, in addition to unlimited density and height increase of up to 33 feet:

- 1. Floor Area Ratio (FAR) (On-Menu).** An up to 25% increase in FAR for a total FAR of 3.77:1 in lieu of the maximum FAR of 3:1.

2. **Side Yard (Off-Menu).** A 5 foot westerly side yard setback lieu of 7 foot side yard setback as otherwise required in the RD2-1XL Zone.
3. **Side Yard (Off-Menu).** A 5 foot easterly side yard setback lieu of 7 foot side yard setback as otherwise required in the RD2-1XL Zone.
4. **Front Yard (Off-Menu).** A 6 foot front yard setback lieu of 15 foot front yard setback as otherwise required in the RD2-1XL Zone.
5. **Open Space (Off-Menu).** A reduction in the required open space, allowing a minimum of zero (0) square feet of open space in lieu of 5,000 square feet of open space as otherwise required by LAMC Section 12.21 G.
6. **Bicycle Parking (Waiver).** An allowance to provide zero (0) long-term bicycle parking spaces in lieu of 42 long-term bicycle parking spaces as otherwise required by LAMC Section 12.21 A.16.

## CONDITIONS OF APPROVAL

1. **Site Development.** The project shall be in substantial conformance with the plans and materials submitted by the Applicant, including the proposed building design elements and materials, stamped "Exhibit A," with a date of September 18, 2024, attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning Project Planning Bureau, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Los Angeles Municipal Code or the project conditions.
2. **Residential Density.** The project shall be limited to a maximum density of 50 residential dwelling units per Exhibit "A". Pursuant to California Government Code Section 65915(f)(3)(D)(ii) and Assembly Bill 2097, the project is located within one-half mile of a major transit stop, and the project is allowed unlimited density.
3. **On-Site Restricted Affordable Units.** 39 units shall be reserved for Low Income households and 10 units shall for Moderate Income households, as defined by the California Government Code Section 65915 and by the Los Angeles Housing Department (LAHD). In the event the SB 8 Replacement Unit condition requires additional affordable units or more restrictive affordability levels, the most restrictive requirements shall prevail.
4. **Changes in Restricted Units.** Deviations that increase the number of restricted affordable units or that change the composition of units or change parking numbers shall be consistent with LAMC Section 12.22-A.25 and Government Code Section 65915.
5. **Housing Requirements.** Prior to issuance of a building permit, the owner shall execute a covenant to the satisfaction of the Los Angeles Housing Department ("LAHD") to reserve 39 units for Low Income households and 10 units for Moderate Income households or equal to 100 percent of the project's total proposed residential density allowed, exclusive of one (1) Manager's Unit, for sale or rental, as determined to be affordable to such households by LAHD for a period of 55 years. In the event the applicant reduces the proposed density of the project, the number of required reserved on-site Restricted Units may be adjusted, consistent with LAMC Section 12.22 A.25, to the satisfaction of LAHD and in consideration of the project's Replacement Unit Determination. Enforcement of the terms of said covenant shall be the responsibility of LAHD. The Applicant shall submit a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with the Guidelines for the Affordable Housing Incentives Program adopted by the City Planning Commission and any monitoring requirements established by the LAHD.

Unless otherwise required by state or federal law, the project shall provide an onsite building manager's unit, which the owner shall designate in the covenant. The Owner may not use an affordable restricted unit for the manager's unit.

6. **100% Affordable Housing Project (ED1).** If the project changes at any time during the review or construction process such that it no longer meets ED 1 eligibility criteria, the project is disqualified from ED1 streamlining and all prior determinations on the project become inapplicable. For projects requiring a City Planning application, if a project changes at any point during the City Planning review or post-approval process such that the project would no longer qualify for ED 1, a new application for the revised project must be filed.

## 7. Density Bonus Incentives and Waiver

- i. **Density.** The project shall be limited to a total of 50 dwelling units.
  - ii. **100% Affordable Project Height.** Pursuant to California Government Code Section 65915(d)(2)(D), the project is located within one-half mile of a major transit stop, the applicant shall receive a height increase of up to three additional stories or 33 feet. The height increase is calculated on top of all current zoning height limits. The project shall be limited to 43 feet and 6 inches in height as shown in Exhibit "A".
  - iii. **Floor Area Ratio (FAR) (On-Menu).** The project total Floor Area shall be limited to 23,062 square feet and a 3.77:1 FAR, as shown in Exhibit "A".
  - iv. **Side Yard (Off-Menu).** The project shall provide a minimum of 5 foot westerly side yard setback, as shown in Exhibit "A".
  - v. **Side Yard (Off-Menu).** The project shall provide a minimum 5 foot easterly side yard setback, as shown in Exhibit "A".
  - vi. **Front Yard (Off-Menu).** The project shall provide a minimum 6 foot front yard setback, as shown in Exhibit "A".
  - vii. **Open Space (Off-Menu).** The project is allowed a minimum of zero (0) square feet of Open Space, as shown in Exhibit "A".
  - viii. **Bicycle Parking (Waiver).** The project shall provide a minimum of zero (0) long-term bicycle parking spaces as shown in Exhibit "A".
8. **Automobile Parking.** Pursuant to California Government Code Section 65915(p)(3), no parking requirements shall apply for 100 percent affordable housing projects located within one-half mile of public transit. The project proposes no (0) automobile parking spaces.
9. **Bicycle Parking.** Short-term bicycle parking shall be provided consistent with LAMC Section 12.21 A.16.
10. **Required Trees per 12.21 G.2.** As conditioned herein, a final submitted landscape plan shall be reviewed to be in substantial conformance with Exhibit "A". There shall be a minimum of thirteen 24-inch box, or larger, trees onsite pursuant to LAMC Section 12.21 G.2. Any required trees pursuant to LAMC Section 12.21 G.2 shown in the public right-of-way in Exhibit "A" shall be preliminarily reviewed and approved by the Urban Forestry Division prior to building permit issuance. In-lieu fees pursuant to LAMC Section 62.177 shall be paid if placement of required trees in the public right-of-way is proven to be infeasible due to City-determined physical constraints.
11. **Landscape Plan.** The landscape plan shall indicate landscape points for the project equivalent to **10% more than otherwise required** by LAMC 12.40 and Landscape Ordinance Guidelines "O". All open areas not used for buildings, driveways, parking areas, recreational facilities or walks shall be attractively landscaped, including an automatic irrigation system, and maintained in accordance with a landscape plan prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning.

12. **SB 8 Replacement Units (California Government Code Section 66300 et seq.)** The project shall be required to comply with the Replacement Unit Determination (RUD) letter, dated February 22, 2024, to the satisfaction of LAHD. The most restrictive affordability levels shall be followed in the covenant. In the event the On-site Restricted Affordable Units condition requires additional affordable units or more restrictive affordability levels, the most restrictive requirements shall prevail.

### **Administrative Conditions**

13. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building and Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building and Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building and Safety shall be stamped by Department of City Planning staff "Plans Approved". A copy of the Plans Approved, supplied by the applicant, shall be retained in the subject case file.
14. **Notations on Plans.** Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet and shall include any modifications or notations required herein.
15. **Approval, Verification and Submittals.** Copies of any approvals guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
16. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
17. **Department of Building and Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
18. **Recording Covenant.** Prior to the issuance of any permits relative to this matter, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard master covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Development Services Center for approval before being recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Development Services Center at the time of Condition Clearance for attachment to the subject case file.

## 19. Indemnification and Reimbursement of Litigation Costs.

Applicant shall do all of the following:

- a. Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- b. Reimburse the City for any and all costs incurred in defense of an action related to or arising out of the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- c. Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (b).
- d. Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (b).
- e. If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.



For purposes of this condition, the following definitions apply:

“City” shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

“Action” shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

## PROJECT BACKGROUND

### Subject Property

The project site (700 West 120<sup>th</sup> Street) is located in the Harbor Gateway Community Plan at the intersection of 120<sup>th</sup> Street and Hoover Street. The corner site is comprised of one (1) rectangular shaped lot with a lot area of approximately 9,600 square feet or approximately 0.22 acres. The project site is located in the RD2-1XL Zone with a Land Use designation of Low Medium II Residential. The site has a street frontage of approximately 60 feet along the south side of 120<sup>th</sup> Street and a street frontage of approximately 160 feet along the west side of Hoover Street. The project site is located within the Newport – Inglewood Fault and is not located within the Alquist-Priolo Fault Zone. The site is not located within a designated hillside area, very high fire hazard severity zone, liquefaction, landslide, or tsunami inundation zone, however the site is located in a methane zone. The tree disclosure statement, signed by Amir Deris, dated March 26, 2024, stated that there are no protected tree or shrub species on the site or adjacent to the site. The existing project site is currently developed with a single-family dwelling that is to be demolished.

### Project Description

The project is the construction of a new four-story, 43 foot and 6 inch tall residential development with 50 residential dwelling units (including 39 units for Low Income Household occupancy and 10 units for Moderate Income Households occupancy, and one (1) market-rate manager's unit). The project will have a proposed Floor Area Ratio ("FAR") of approximately 3.77:1 with approximately 23,062 square feet of floor area. As a 100% affordable housing project, no residential parking is required per AB 2345 (Government Code Section 65915(p)(4)) and AB 2097. The project proposes no (0) automobile parking spaces.

### *Ministerial Review*

Following the Mayor's Declaration of Local Emergency dated December 12, 2022, Executive Directive 1 (ED-1) went into effect on December 16, 2022 to facilitate the expeditious processing of shelters and 100 percent affordable housing projects to address the homelessness crisis in the City of Los Angeles. A 100 percent Affordable Housing Project is defined as "A project with 5 or more units, with all units affordable either at 80% of Area Median Income (HUD) levels, OR at mixed income with up to 20% of units at 120% AMI (HCD rents levels) and the balance at 80% AMI or lower (HUD/TCAC rents levels) as technically described here: A housing development project defined in Government Code Section 65589.5 that includes 100% restricted affordable units (excluding any manager's units) for which rental or mortgage amounts are limited so as to be affordable to and occupied by, Lower Income households, as defined by California Health and Safety Code 50079.5, or that meets the definition of a 100% affordable housing development in CA Gov. Code 65925(b)(1)(G), as determined by the Los Angeles Housing Department (LAHD)". For 100 percent affordable housing projects and shelters, the Directive, requires the review be completed within 60 days after the application is complete.

### *Housing Replacement*

Pursuant to the Senate Bill 8 Replacement Unit Determination made by the Los Angeles Housing Department (LAHD) dated February 22, 2024, and to the requirements of the Housing Crisis Act of 2019 (SB8), LAHD determined that the proposed housing development does not require the demolition of any prohibited types of housing and no HCA affordable replacement units are required. The zero affordable replacement determination will only remain valid provided the property remains vacant or in the event of an owner occupied single family dwelling. Any subsequent rental of the property may result in an affordable replacement obligation.

### *Density Bonus Incentives and Waivers*

Pursuant to State Density Bonus Law under Government Code Section 65915, a project located within one-half mile of a Major Transit Stop may receive a waiver from any maximum controls on density, a height increase of up to three additional stories or up to 33 additional feet, and an Applicant may request that the city not impose any minimum vehicular parking requirement for 100 percent affordable housing projects. The applicant is utilizing an automobile parking reduction offered under AB 2345 under Government Code Section 65915(p)(3) as the site is located within one-half mile of a Major Transit Stop (Metro Rail C Line) located at Vermont Avenue and 116<sup>th</sup> Place. As a 100 percent affordable housing project within one-half mile of a major transit stop, the project is not required to provide residential parking spaces.

Additionally, 100% Affordable Housing Developments are entitled to request unlimited density if the project is within a one-half mile of a major transit stop or within a very low vehicle travel area (CA Govt. Section 65915(f)(3)(D)(ii)). Lastly, the Housing Development that receives a waiver from any maximum controls on density shall be eligible for one waiver unless the City agrees to additional waivers or reductions of development standards (CA Govt. Section 65915(e)(3)).

LAMC Section 12.22 A.25 and State Density Bonus Law (Government Code Section 65915) outline types of relief that minimize restrictions on the size of the project. In exchange for meeting the minimum set-aside requirements, the project may receive a set of incentives, concessions, and waivers to deviate from development standards in order to facilitate the provisions of affordable housing at the site. The approved incentives and waivers allow the developer to expand the building envelope so the additional affordable units can be constructed, provide for design efficiencies, and allow the overall space dedicated to residential uses to be increased.

Given that the applicant is providing 100 percent of dwelling units to be affordable at Low-Income and Moderate-Income Household occupancy for a period of 55 years, and meets the criteria outline in Government Code Section 65915(d)(2)(D), the project is eligible for unlimited density, a height increase, and up to five (5) incentives and one (1) waiver per California Government Code Section 65915(d)(2)(D) and Section 65915(e)(3).

The applicant has been approved for the following incentives and waiver:

- **Density.** An unlimited increase in density to allow a total of 50 units in lieu of the 7 base units.
- **Parking.** A reduction to zero (0) residential parking spaces.
- **Height.** A height increase of up to three additional stories or 33 feet. The height increase is calculated on top of all current zoning height limits.
- **Floor Area Ratio (FAR) (On-Menu).** An up to 25% increase in FAR for a total FAR of 3.77:1 in lieu of the maximum FAR of 3:1.
- **Side Yard (Off-Menu).** A 5 foot westerly side yard setback lieu of 7 foot side yard setback as otherwise required in the RD2-1XL Zone.
- **Side Yard (Off-Menu).** A 5 foot easterly side yard setback lieu of 7 foot side yard setback as otherwise required in the RD2-1XL Zone.

- **Front Yard (Off-Menu).** A 6 foot front yard setback lieu of 15 foot front yard setback as otherwise required in the RD2-1XL Zone.
- **Open Space (Off-Menu).** A reduction in the required open space, allowing a minimum of zero (0) square feet of open space in lieu of 5,000 square feet of open space as otherwise required by LAMC Section 12.21 G.
- **Bicycle Parking (Waiver).** An allowance to provide zero (0) long-term bicycle parking spaces in lieu of 42 long-term bicycle parking spaces as otherwise required by LAMC Section 12.21 A.16.

The record does not contain substantial evidence that would allow the decision maker to make a finding that the requested incentives do not result in identifiable and actual cost reduction to provide for affordable housing costs per State Law. The California Health & Safety Code Sections 50052.5 and 50053 define formulas for calculating affordable housing costs for very low-, low-, and moderate-income households. Section 50052.5 addresses owner-occupied housing and Section 50053 addresses rental households. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed a predetermined percentage of income based on area median income thresholds dependent on affordability levels.

The project requests four (4) Off-Menu incentives for a reduction for both the required side yard setbacks, front yard, reduction in open space, respectively along with one (1) Waiver of Development Standard for a reduction in long term bicycle parking. Strict compliance with the requested waiver would reduce the buildable area for new development and physically preclude the number and range of units that would be developed. There is no evidence in the record that the approved incentives would have a specific adverse impact. A "specific adverse impact" is defined as "a significant, quantifiable, direct, and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete" per LAMC Section 12.22 A.25(b). The project does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical Cultural Monuments.

There is no evidence in the record which identifies a written objective health and safety standard that has been exceeded or violated. Based on the above, there is no basis to deny the requested incentives.

## **CONCLUSION**

As a Density Bonus Housing Project that satisfies all the objective planning standards of LAMC Section 12.22 A.25(g)(3), California Government Code Section 65915 and is a 100% affordable housing project consistent with ED1 streamlined approval, the project is considered to be a ministerial project. Additionally, in accordance with Government Code Section 65915, the project as shown in Exhibit "A" after amendments to align with the conditions of approval, is deemed to satisfy the objective planning standards and shall comply with the attached planning standards as Conditions of Approval.

## **OBSERVANCE OF CONDITIONS - TIME LIMIT - LAPSE OF PRIVILEGES**

All terms and conditions of the Director's Letter of Compliance shall be fulfilled before the use may be established. The instant authorization is further conditioned upon the privileges being utilized within three years after the effective date of this determination and, if such privileges are not utilized, building permits are not issued, or substantial physical construction work is not begun within said time and carried on diligently so that building permits do not lapse, the authorization shall terminate and become void.

## **TRANSFERABILITY**

This determination runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions of this grant. If any portion of this approval is utilized, then all other conditions and requirements set forth herein become immediately operative and must be strictly observed.

## **VIOLATIONS OF THESE CONDITIONS, A MISDEMEANOR**

The Applicant's attention is called to the fact that this grant is not a permit or license and that any permits and licenses required by law must be obtained from the proper public agency. Furthermore, if any condition of this grant is violated or not complied with, then the Applicant or his successor in interest may be prosecuted for violating these conditions the same as for any violation of the requirements contained in the Municipal Code, or the approval may be revoked.

Section 11.00 of the LAMC states in part (m): "It shall be unlawful for any person to violate any provision or fail to comply with any of the requirements of this Code. Any person violating any of the provisions or failing to comply with any of the mandatory requirements of this Code shall be guilty of a misdemeanor unless that violation or failure is declared in that section to be an infraction. An infraction shall be tried and be punishable as provided in Section 19.6 of the Penal Code and the provisions of this section. Any violation of this Code that is designated as a misdemeanor may be charged by the City Attorney as either a misdemeanor or an infraction.

Every violation of this determination is punishable as a misdemeanor unless provision is otherwise made, and shall be punishable by a fine of not more than \$1,000 or by imprisonment in the County Jail for a period of not more than six months, or by both a fine and imprisonment.

Verification of condition compliance with building plans and/or building permit applications are done at the Development Services Center of the Department of City Planning at either Figueroa Plaza in Downtown Los Angeles or the Marvin Braude Building in the Valley. In order to assure that you receive service with a minimum amount of waiting, applicants are encouraged to schedule an appointment with the Development Services Center either through the Department of City Planning website at <http://planning.lacity.org> or by calling (213) 482-7052 or (818) 374-5050. The applicant is further advised to notify any consultant representing you of this requirement as well.

The time in which a party may seek judicial review of this determination is governed by California Code of Civil Procedures Section 1094.6. Under that provision, a petitioner may seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, only if the petition for writ of mandate pursuant to that section is filed no later than the 90th day following the date on which the City's decision becomes final.

**Effective Date/Appeals:** The decision of this Letter of Compliance is final and effective upon the mailing of this letter and not appealable.

VINCENT P. BERTONI, AICP  
Director of Planning

Approved by:

*Theodore L. Irving*

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Theodore L. Irving, AICP, Principal City  
Planner

*Connie Chauv*

\_\_\_\_\_  
Connie Chauv, Senior City Planner

Prepared by:

*Connie Chauv* for

\_\_\_\_\_  
Daisy Benicia, City Planner



700 West 120th Street.50 Units Apartments

100 % PRIVATELY FUNDED, NO TAX CREDIT NOT PUBLIC HOUSING NO PARKING REQUIRED FOR 100 % AFFORDABLE HOUSES SENIOR AFFORDABLE . FULLY SPRINKLERED BUILDING

GENERAL NOTES:

1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND OBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
2. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.\* ( PER ORDINANCE 170,158) ( SEPARATE PLUMBING PERMIT IS REQUIRED).
3. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).
4. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
5. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACE SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
6. PROVIDE ULTRA FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
7. PROVIDE 70 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER- RESISTANT MATERIALS FOR SHOWER EN CLOSURE.\* (R308).
8. WATER HEATER MUST BE STRAPPED TO WALL.
9. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY,WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR OTHER ADDITIONS. (R314.2)
10. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED.
11. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLE OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL.
12. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
13. PROVIDE ONE HOUR RATED CONSTRUCTION FOR ALL BEARING WALLS ON THE FIRST FLOOR, WHICH PROVIDE SUPPORT OF THE SECOND FLOOR CEILING ASSEMBLY.
14. THROUGH PENETRATIONS OF FIRE-RESISTANCE-RATED WALL OR FLOOR ASSEMBLIES SHALL COMPLY WITH SECTION R302.4.1.1 OR R3024.1.2.
15. MEMBRANE PENETRATIONS SHALL COMPLY WITH SECTION R302.4.1. WHERE WALLS ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING, RECESSED FIXTURES SHALL BE INSTALLED SO THAT THE REQUIRED FIRE-RESISTANCE RATING WILL NOT BE REDUCED.
16. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.
16. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFT STOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS.
17. AN APPROVED SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL.
18. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL- BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
19. GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3.
20. DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MIN. NO.26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND THESE SHALL BE NO OPENINGS FROM THE DUCTS INTO THE GARAGE.
21. HEATER SHALL BE CAPABLE OF MAINTAINING A MIN. ROOM TEMP. OF 68°F AT A POINT 3 FT. ABOVE THE FLOOR AND 2 FT. FROM THE EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMP.
22. LANDING AT A DOOR SHALL HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NO LESS THAN 36" (R311.3)

NOTE:  
\*THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL

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A8-71.....	DOORS / WINDOWS DETAIL
A8-72.....	WINDOW WATERPROOFING
A8-73.....	Bike rack long term detail
S.V.....	SURVEY
L-1.....	LANDSCAPE PLAN
L-2.....	IRRIGATION PLAN
L-3.....	LANDSCAPE DETAILS ,SPECIFICATIONS
S1.....	FOUNDATION PLAN
S2.....	2 ND FLOOR FRAMING PLAN
S3.....	3 ND FLOOR FRAMING PLAN
S4.....	4TH FLOOR FRAMING PLAN
S5.....	DECK FRAMING PLAN
S6.....	ROOF HATCHE FRAMING PLAN
SD-1.....	STRUCTURAL DETAIL
SD-2.....	STRUCTURAL DETAIL
SD-3.....	STRUCTURAL DETAIL
SN-1.....	STRUCTURAL NOTE & SPECIFICATIONS
SN-2.....	STRUCTURAL NOTE & SPECIFICATIONS
M-7.....	T-24 OF 1 RESIDENTIAL
M-8.....	T-24 OF 1 RESIDENTIAL
M-9.....	T-24 OF 1 RESIDENTIAL

APPLICABLE CODES:

2023 L.A. RESIDENTIAL CODE  
2023 L.A. CITY BUILDING CODE  
2023 L.A. CITY ELECTRICAL CODE  
2023 L.A. CITY MECHANICAL CODE  
2023 L.A. CITY PLUMBING CODE  
2023 CALIFORNIA ENERGY CODE  
2023L.A. GREEN BUILDING CODE

CONSULTANTS

1. ARCHITECT

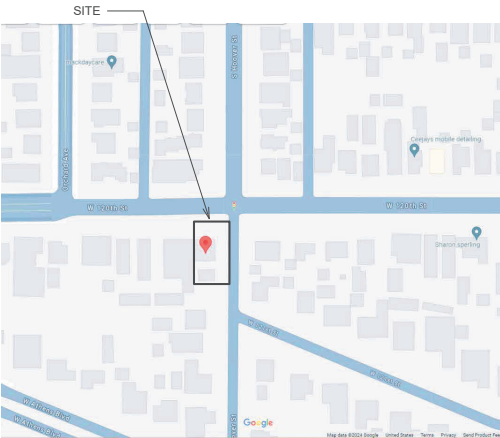
ATABAK YOUSSEFZADEH  
1401 WESTWOOD BLVD.SUITE320  
LOS ANGELES, CA 90024  
Tel:(310)- 503 -7123

2. Structural Engineer

Shahriar Yadegari, PE  
10301 Keswick Ave Los  
Angeles, CA 90064  
Tel: (310) 430-6033 Email:  
shyadegari@gmail.com

3 Title 24 consultant

ATABAK YOUSSEFZADEH  
1401 WESTWOOD BLVD.SUITE320  
LOS ANGELES, CA 90024  
Tel:(310)- 503 -7123



Note: THIS IS NOT A SPECIAL NEEDS HOUSING, OR FOR-RENT HOUSING FOR INDIVIDUALS WHO ARE 55 YEARS OF AGE OR OLDER

VICINITY MAP:

SCOPE OF WORK:

CONSTRUCTION OF:

NEW 50 UNITS APARTMENT BUILDING 4 STORIES FULLY SPRINKLERD 100% AFFORDABLE HOUSING (LOW INCOME) ,(NO PARKING REQUIRED) use of AB1763 OR AB2097

INCLUDES:

	Studio	One bedroom
First Floor	—	11
Second Floor	1	12
Third Floor	1	12
Fourth Floor	1	12
TOTAL:	3	47

-39 Low Income Units  
- 10 Moderate Income Units  
- 1 Market Rate Manager's Unit

= Total 50 units

AREA SUMMARY (LADBS)

	A	B	C	D	E	F	G	H	I	J	A-B-C-D-E-F	A-B-C-D-E-F-G-H-I-J
STORY	RESIDENTIAL	CORRIDOR	TRASH	Laundry	Office	Mail box Room	Elevator room	Trash chute	AREA EXTERIOR WALLS SQ.FT.	AREA STAIR /ELEVATOR SQ.FT.	ZONING AREA COD SQ.FT.	GROSS AREA SQ.FT.
FIRST FLOOR	4,279 s.f	808	185	159	139	161	64	—	185	382	5,731	6,362
SECOND FLOOR	4,999 s.f	778	—	—	—	—	—	18	185	382	5,777	6,362
THIRD FLOOR	4,999 s.f	778	—	—	—	—	—	18	185	382	5,777	6,362
FOURTH FLOOR	4,999 s.f	778	—	—	—	—	—	18	185	382	5,777	6,362
TOTAL											23,062	25,448

SEE A2.05

PROJECT DESCRIPTION

Lot/Parcel Area (Calculated) : .....9,600.9 (sq ft)  
PIN : ..... 084B197 469  
APN # : ..... 6117001020  
ZONE : .....RD2-1XL  
TRACT : ..... ATHENS  
LOT : .....FR 14

BLOCK : ..... 1  
MAP SHEET : .....084B197  
ADDRESS: 700 W 120th St, Los Angeles, CA 90044

EXHIBIT "A"  
LEGAL DESCRIPTION

Order No.: 2178458  
Escrow No.: 2178458

The land referred to herein is situated in the State of California, County of Los Angeles, City of Los Angeles and described as follows:

The East 60 feet of Lot 14 in Block 1 of Athens Tract, in the City of Los Angeles, County of Los Angeles, State of California, as per Map recorded in Book 8 Pages 146 and 147 of Maps, in the Office of the county Recorder of Said county.

APN: 6117-001-020  
(End of Legal Description)

PROJECT INFORMATION

Lot/Parcel Area (Calculated) : 9,600.9 (sq ft)

Construction Type:.....V-A

Occupancy:.....R2

DENSITY CALCULATION:

Lot size: 9,600.9 s.f  
Zone: RD2-1XL  
Land use density which is RD1.5 or 1,500 SQFT for each dwelling unit and therefore by right density is 6.4 (rounded down) to 6  
TOTAL UNIT ALLOWED 6.4 (By-right is 6 units)  
UNITS PROVIDED: 50 UNITS ( Pursuant AB 1763 (unlimited density)  
FAR CALCULATION: (SEE A2-06)  
Lot size : 9,600.9 s.f  
Buildable area : 6,110 s.f  
FAR:R3-1=3:1 (6,110 x 3) = 18,330 Allowed > 23,062 s.f Provided  
Proposed FAR:3.77:1 (Using Density Bonus With On-Menu Incentive 12.22A.25(g)(3))  
Using Waiver of Development Standard

OPEN SPACE CALCULATION:

3 studios and 47 One bedrooms =5,000 (Required)  
100% Open Space Reduction (Off menu incentive)LAMC Section 12.22A.25(g)(3))

TREE CALCULATION: 50 / 4 = 13 PROVIDED 13 TREE 24 BOX

REQUIRED SETBACKS:

#	Required	Provided
FRONT SET BACK:.....	15'-0"	6'-0" off menu incentive
REAR SET BACK:.....	15'-0"	15'-0"
SIDE SET BACK(WEST):.....	7'-0"	5'-0" off menu incentive
SIDE SET BACK (EAST):..	7'-0"	5'-0" after dedication off menu incentive

BICYCLE PARKING CALCULATION:

Bicycle parking requirements: LAMC 12.21 A.16

Dwelling Units	Short-term Spaces	Long-term Spaces
1 - 25	1 space per 10 units	1 space per unit
26 - 100	1 space per 15 units	1 space per 1.5 units

DWELLING UNITS= 50

Short term space required=4 ..... Provided 4 space

Long term space required= 42 ..... Provided 0 space  
(Waiver of Development Standard)

Height of structure (MAX) =30+33=63'-0" .....Provided 43'-6"  
Permitted Height is +33' per AB2334' (63'-0" > 43'-6") OK  
Pervious area:......960 S.F.  
Impervious area:.....1,782 S.F

-NFPA 13 AUTOMATIC FIRE SPRINKLER SYSTEM (NFPA 13, 2019 EDITION)

-LAFC FIRE ALARM: MANUAL FIRE ALARM SYSTEM PER LAFC 907

-School fee: 25,448 s.f (see A2-05)

List of Requested On-Menu and Off-Menu Incentives ,Waiver

1	Side setback west	Off-menu incentive to allow 5' in lieu of 7" (28.57% reduction)
2	Side setback East	Off-menu incentive to allow 5' in lieu of 7" (28.57% reduction)
3	Front setback North	Off-menu incentive to allow 6' in lieu of 15' (60% reduction)
4	FAR	On-menu incentive to allow an FAR of 3.77:1 in lieu of 3:1 (23% increase) 12.22A.25(g)(3))(g)(3))
5	Open space	Off menu incentive to allow for a 100% open space reduction
6	BICYCLE PARKING Long term	Waiver allow for 0 spaces in lieu of 42 spaces (100% reduction)

METROPOLIS ARCHITECTURE

1401 WESTWOOD BLVD.SUITE320  
LOS ANGELES, CA 90024  
EMAIL:atabak80@gmail.com  
TEL: (310)-503-7123

OWNER:

Amir Deris

7095 hollywood bl.#312  
los angeles CA 90028

Tell:310 808 6969

SEAL:



PROJECT:  
700 W 120th St, Los Angeles,  
CA 90044

NO	DESCRIPTION	DATE
1	PLAN CHECK SET	
2	CORRECTION SET	
3	PERMIT SET	
REVISION: 5.14.2024		
MARK	DATE	DESCRIPTION

DRAWING BY: PEYMAN PAYDAR

SCALE:

DRAWING TITLE:

Cover sheet

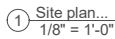
DRAWING NO.

A.0



- 14-"Recirculating water systems shall be used for water features"
- 2-"A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated."
- 3-"For soils less than 6% organic matter in the top 6 inches of soil, compost at a rate of a minimum of four cubic yards per 1,000 square feet of permeable area shall be incorporated to a depth of six inches into the soil."
- 4-"Pressure regulating devices are required if water pressure is below or exceeds the recommended pressure of the specified irrigation devices."
- 5-"Check valves or anti-drain valves are required on all sprinkler heads where low point drainage could occur."
- 6-the following statement on the landscape and irrigation plans: "I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plans".
- 7-"A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes."
- 8-"A Certificate of Completion shall be filled out and certified by either the signer of the landscape plans, the signer of the irrigation plans, or the licensed landscape contractor for the project".
- 9-"An irrigation audit report shall be completed at the time of final inspection."
- 10-"A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated."
- 11-"At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule of landscape and irrigation maintenance."
- 12-"Unless contradicted by a soils test, compost at a rate of a minimum of four cubic yards per 1,000 square feet of permeable area shall be incorporated to a depth of six inches into the soil"
- 13-"At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule and a schedule of landscape and irrigation maintenance."
- 14-A copy of the construction documents or a comparable document indicating the information from energy code sections 10.10.(c) shall be provide to the occupant"


**EXHIBIT "A"**  
Page No. 2 of 15  
Case No. ADM-2024-4937-DB-VHCA-ED1











PROJECT:  
700 W 120th St, Los Angeles,  
CA 90044

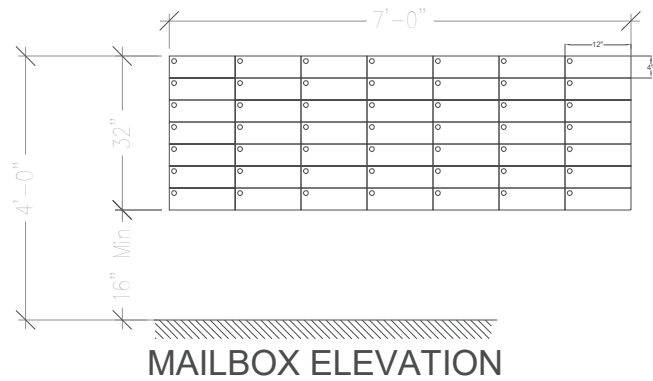
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2	CORRECTION SET	Revision 1
3	PERMIT SET	
REVISION: 5/14/2024		







REVISION: 5.14.2024

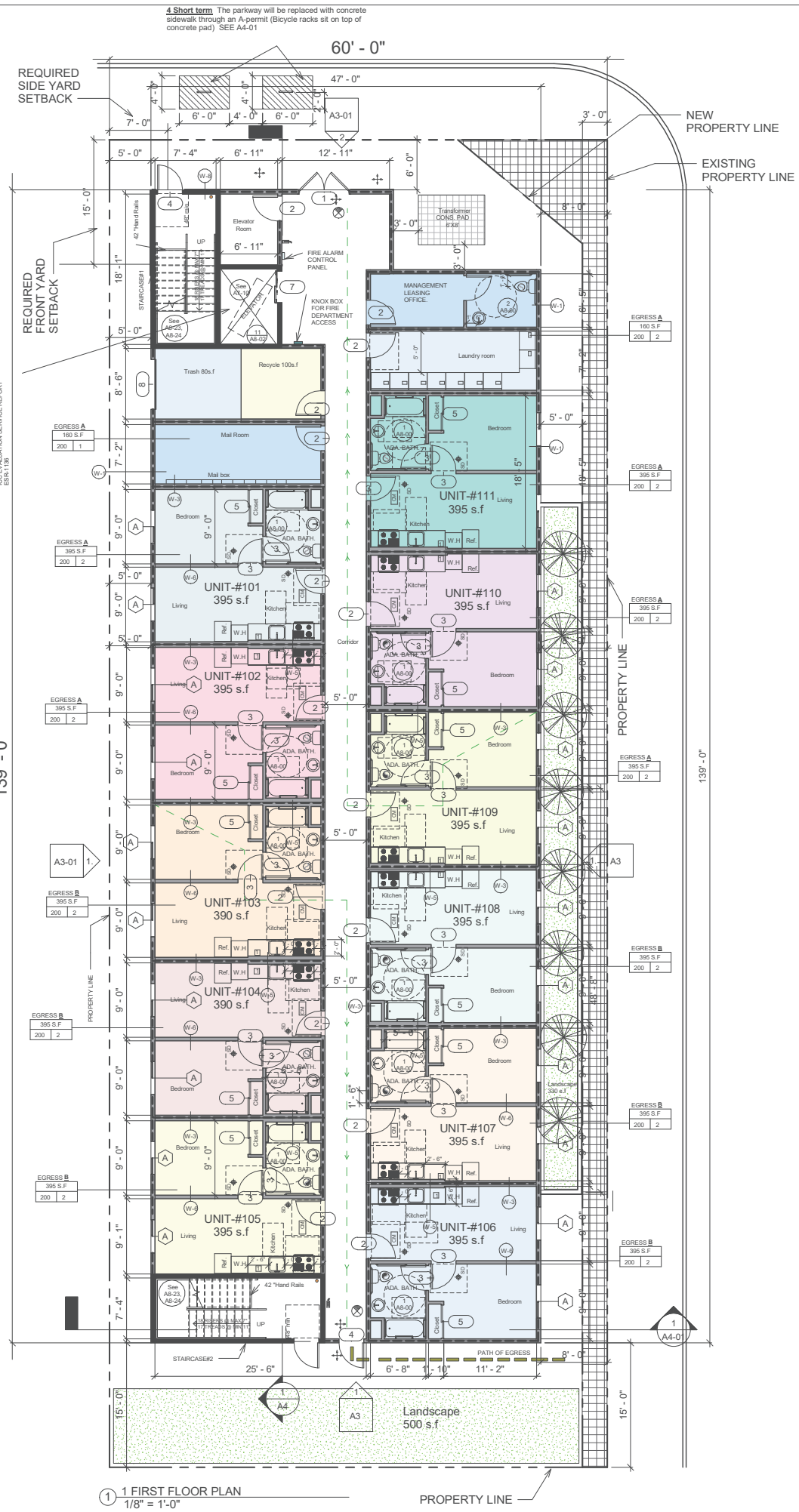
MARK	DATE	DESCRIPTION
	9.20.2023	

## A.1

WALL TYPES		
TYPE OF CONSTRUCTION V-A		
OCCUPANCY TYPE R-2		DETAIL
TAG	LINE STYLE	DESCRIPTION
(W1)		6" WD STUD EXTERIOR WALL WITH ONE-HOUR FIRE RESISTIVE CONSTRUCTION.
(W2)		4" WD STUD (6" WHERE OCCURS) INTERIOR WALL WITH ONE-HOUR FIRE RESISTIVE CONSTRUCTION.
(W3)		6" WD STUDS A1 16" PLATE CORRIDOR AND BETWEEN UNITSWALL FIRE PARTITIONS SHALL HAVE A FIRE-RESISTANCE RATING OF ONE- HOUR PER IN ACCORDANCE WITH T1020 1(CBC 1010.1)* C.B.C. SECT 708.3.
(W4)		6" WD STUD FIRE BARRIER, SHAFT ENCLOSURES SHALL BE OF 2-HOUR FIRE RATED CONSTRUCTION PER C.B.C. SECTION 707 AND 713.
(W5)		13"WD STUDS 1-HOUR FIRE PARTITION BETWEEN UNITS
(W6)		5" WD STUD NON-RATED INTERIOR PARTITION WALL.
(W7)		6" WD STUDS A1 16" PLATE FIRE BARRIER WITH 2 HR FIRE RESISTIVE CONSTRUCTION
(W8)		6" WD STUD EXTERIOR WALL FIRE BARRIER, SHAFT ENCLOSURES SHALL BE OF 2-HOUR FIRE RATED CONSTRUCTION PER C.B.C. SECTION 707 AND 713.



<b>Legend:</b>	
ILLUMINATED EXIT SIGNS	
EXHAUST FAN CAPABLE OF 50 cfm EXHAUSTED DIRECTLY TO THE OUTSIDE (EXHAUST STAR) WITH HUMIDITY CONTROL	
STATE FIRE MARSHALL APPROVED CARBON MONOXIDE ALARM INTERVIEWED W/ BATTERY BACK-UP	
HARDWARE WITH BATTERY BACK-UP SMOKE DETECTOR	
STANDPIPE	
FIRE EXTINGUISHER	
2% MAX SLOPE IN ALL DIRECTIONS	
3' clear work space with removable base cabinet.	
Cabinet material types: quartz 4 inch backsplash	
<u><b>OCCUPANCY CALCULATIONS</b></u>	
PATH OF EGRESS A, 100'-0" : 13 OCC LOAD X 0.2= 2.6"	
PATH OF EGRESS B, 104'-0" : 12 OCC LOAD X 0.2= 2.4"	
TOTAL OCCUPANT LOAD @1ST LEVEL: 25	



**EXHIBIT "A"**  
Page No. 3 of 15  
Case No. ADM-2024-4937-DB-VHCA-ED1

**METROPOLIS ARCHITECTURE**

1401 WESTWOOD BLVD SUITE320  
LOS ANGELES, CA 90024  
EMAIL: atabak80@gmail.com  
TEL: (310)-503-7123

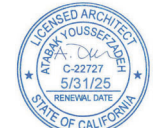
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OWNER:

Amir Deris

7095 hollywood bl.#312  
los angeles CA 90028

Tell:310 808 6969



PROJECT:  
700 W 120th St, Los Angeles,  
CA 90044

NO	DESCRIPTION	DATE
1	PLAN CHECK SET	
2	CORRECTION SET	
3	PERMIT SET	

REVISION: 5.14.2024

[illegible]

DRAWING BY: PEYMAN PAYDAR

SCALE:

DRAWING TITLE:

FIRST FLOOR PLAN

DRAWING NO.

## A.2



Smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all the alarm 1 the individual unit. Required smoke alarm,s shall receive their primary power from the building wiring and half be equipped with a batt ry backup. (LAFc 907 .2.11.5-6)

2- Carbo monide alarm shall be interconnected in such a manner that the activation all the alarms in the individual unit. Required smoke alarms shall receive their primary power from the building wiring and shall be equipped with a battery backup. (LAFc 907.2.11.5-6)

3-Interior wall and ceiling finish shall have a flame spread index not greater than specified in T803.11. specify interior wall and ceiling finish on plans. (LAFc803.3)

4-Material, other than foam plastics, used as interior trim shall have a

5-Openings shall be s156 SF. Aggregate width of openings at min Class C flame spread and smoke-developed index and shall not exceed 10 % of the wall or ceiling area in which it is attached. (LAFc)

6-Curtains, draperies, fabric hangings, and similar combustible decorative materials suspended from walls or ceilings shall not exceed 10% of the wall or ceiling area to which such materials are attached. (LAFc 807.3)\*\*

7-In every Group A, E, I, R-1, R-2, and R-2.1, all drapes, hangings, curtains, drops, and all other decorative material shall be made from nonflammable material or treated and maintained in a flametretardant condition by means of a flame-retardant solution or process approved by the OSFM. {Title 19, Div 1, f3.08}\*\*

8-Provide emergency responder radio coverage in accordance with LAFc 510." {CBC 916:1}

9-"Means of egress serving a room or space shall be illuminated at all times that the room or space is occupied. The minimum level shall not be <1 footcandle at the walking surface."{ BC 1008.2}

10-"In the event of power supply failure, an emergency electrical system shall automatically illuminate all of the following areas for a duration of not <90 min. Emergency lighting facilities shall be arranged to provide initial illumination that is not less than an average of 1 footcandle and a min at any point of .1 footcandle.".: {CBC 1008.3-5}

11-Aisles.

12-I. Corridors.

13-II. Exit access stairways and ramps.

14-V. Interior and exterior exit stairways and ramps.

15-VI. Exit passageways.

16-VI. Vestibules and areas on the level of discharge used for exit discharge.

17-VII. Electrical equipment rooms.

18-VIII. Fire command centers.

19-X. Fire pump rooms.

20-K. Generator rooms.









21-X. Public restrooms >300 SF.









22-10-"Provide two-way communication at the landing serving each elevator or bank of elevators above or below the level of exit discharge". {CBC1009.8}"

23-11-Exit signs shall be internally or externally illuminated" {CBC13.3}\*\*

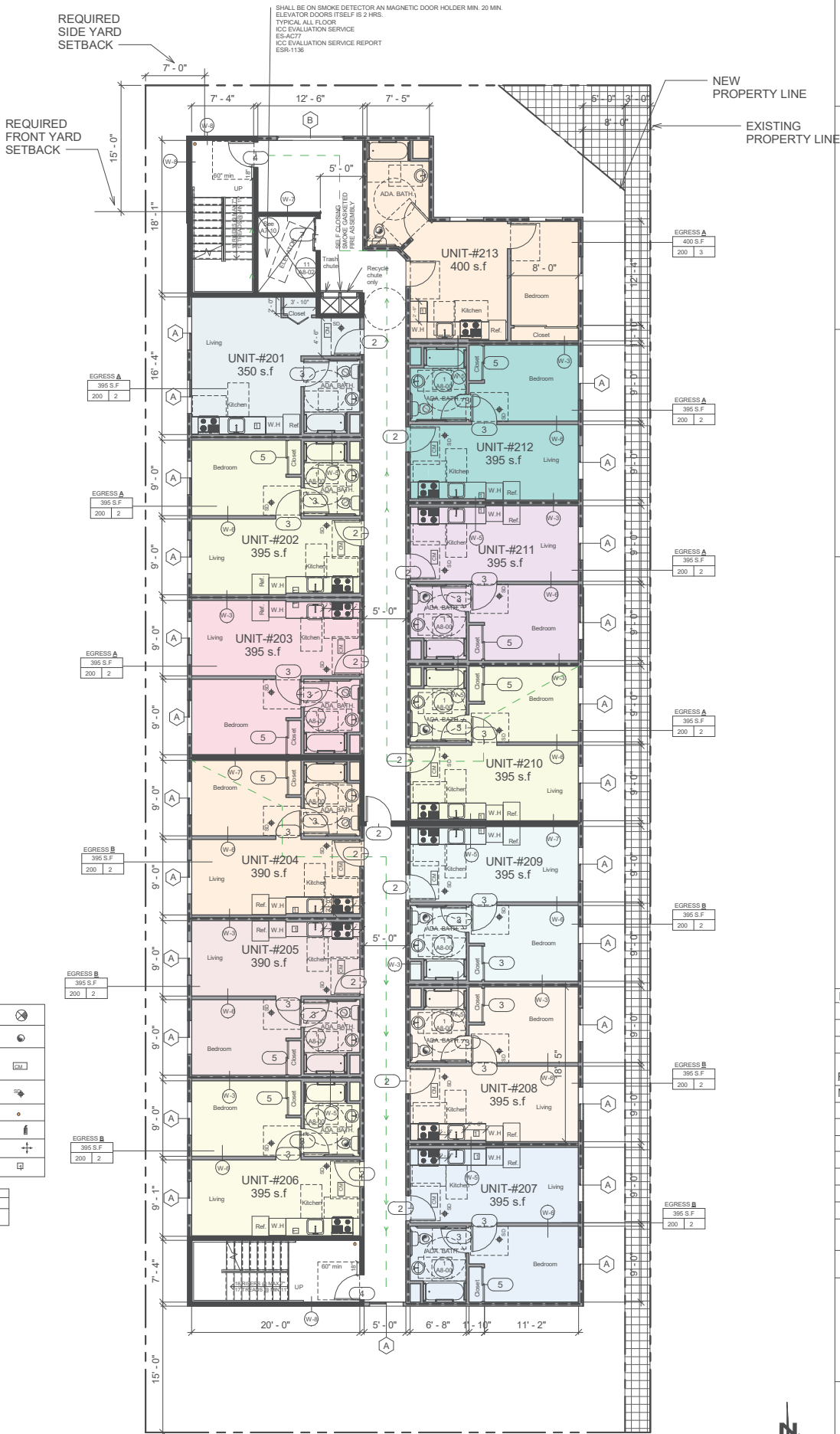
24-12-Tactile exit signs shall be required at the following locations:

"CBC 1013.4)  
"EXIT" sign at each grade-level exterior door.  
Each exit door that leads directly to a grade-level exterior exit  
by means of a stairway or ramp shall be identified by a tactile  
exit sign with the following words as appropriate:  
i. "EXIT STAIR DOWN".  
ii. "EXIT RAMP DOWN".  
iii. "EXIT STAIR UP".  
iv. "EXIT RAMP UP".  
C. "EXIT ROUTE" at each exit door that leads directly to a gradelevel  
exterior exit by means of an exit enclosure or an exit  
passageway.  
D. "EXIT ROUTE" at each exit access door from an interior room  
or area to a corridor or hallway.  
"TO EXIT" at each exit door through a horizontal exit.  
13-"Exit signs shall be illuminated at all times". (CBC 1013.5)  
14-"The face of an exit sign illuminated from an external source shall have an intensity of 2.5 footcandles." (CBC 1013.6.2)  
15-"In case of primary power loss, the sign illumination means shall be connected to an emergency power system for a duration of not less than 90 minutes". (CBC  
1013.6.3)\*\*  
16-Provide a sign at each floor landing in an interior exit  
stairway and ramp connecting >3 stories designating the floor level,  
the terminus of the top and bottom and the identification of the  
stairway or ramp. The signage shall also state the story of, and the  
direction to, the exit discharge and the availability of roof access for  
the fire department. The sign shall be located 5' above the floor  
landing." (CBC 1023.9)  
17-Every dwelling unit shall have no fewer than 1 room that shall have > 2:120 SF of net floor area. Other habitable rooms shall have a net  
18 -An automatic sprinkler system shall be installed at the top of rubbish and linen chutes and in their terminal rooms. Chutes shall  
have additional sprinkler heads installed at alternate floors and at the lowest intake." (LAF 903.2.11.2)  
19-"Carbon monoxide alarms shall be interconnected in such a manner that the activation of one alarm will activate all the alarms in  
the individual unit. Required carbon monoxide alarms shall receive their primary power from the building wiring and shall be equipped  
20- Provide an elevator with standby power in accordance with CBC  
chapter 27 and and CBC 3003 for buildings where a required accessible  
floor is 4 or more stories above or below a level of exit discharge (CBC 1009.2.1)\*\*"

WALL TYPES			
TYPE OF CONSTRUCTION V-A			DETAIL
OCCUPANCY TYPE R-2			
TAG	LINE STYLE	DESCRIPTION	
W1		6" WD STUD EXTERIOR WALL WITH ONE-HOUR FIRE RESISTIVE CONSTRUCTION.	01 A8.20
W2		4" WD STUD (6" WHERE OCCURS) INTERIOR WALL WITH ONE-HOUR FIRE RESISTIVE CONSTRUCTION.	02 A8.20
W3		6" WD STUDS, AT 16" PLATE CORRIDOR AND BETWEEN UNITSWALL FIRE PARTITIONS SHALL HAVE A FIRE-RESISTANCE RATING OF ONE-HOUR PER IN ACCORDANCE WITH T1020. (CBC 1010.1)" C.B.C. SEC7 708.3.	05 A8.20
W4		6" WD STUD FIRE BARRIER, SHAFT ENCLOSURES SHALL BE OF 2-HOUR FIRE RATED CONSTRUCTION PER C.B.C. SECTION 707 AND 713.	04 A8.20
W5		13"WD STUDS 1-HOUR FIRE PARTITION BETWEEN UNITS	05 A8.20
W6		5" WD STUD NON-RATED INTERIOR PARTITION WALL	06 A8.20
W7		6" WD STUDS, AT 16" PLATE FIRE BARRIER WITH 2 HR FIRE RESISTIVE CONSTRUCTION	07 A8.20
W8		6" WD STUD EXTERIOR WALL FIRE BARRIER, SHAFT ENCLOSURES SHALL BE OF 2-HOUR FIRE RATED CONSTRUCTION PER C.B.C. SECTION 707 AND 713.	08 A8.20

<b>Legend:</b>	
ILLUMINATED EXIT SIGNS	
EXHAUST FAN CAPABLE OF 50 cfm EXHAUSTED DIRECTLY TO THE OUTSIDE (ENERGY STAR) WITH HUMIDITY CONTROL	
STATE FIRE MARSHALL APPROVED CARBON MONOXIDE ALARM, INTERWIRED W/ BATTERY BACK-UP	
HARDWARE WITH BATTERY BACK-UP SMOKE DETECTOR	
STANDPIPE	
FIRE EXTINGUISHER	
2% MAX SLOPE IN ALL DIRECTIONS	
30" clear work space with removable base cabinet Cabinet material types: quartz, 4 inch backsplash	

① 2 SECOND FLOOR PLAN  
1/8" = 1'-0"



PROJECT:  
700 W 120th St, Los Angeles,  
CA 90044

NO	DESCRIPTION	DATE
1	PLAN CHECK SET	
2	CORRECTION SET	
3	PERMIT SET	

REVISION: 5.14.2024

[illegible]

DRAWING BY: PEYMAN PAYDAR

SCALE:

DRAWING TITLE:

## SECOND FLOOR PLAN

DRAWING NO.

## A2.01

GREEN NOTE:

- 1-“Recirculating water systems shall be used for water features”  
2-“A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated.”  
3-“For soils less than 6% organic matter in the top 6 inches of soil, compost at a rate of a minimum of four cubic yards per 1,000 square feet of permeable area shall be incorporated to a depth of six inches into the soil.”  
4-“Pressure regulating devices are required if water pressure is below or exceeds the recommended pressure of the specified irrigation devices.”  
5-“Check valves or anti-drain valves are required on all sprinkler heads where low point drainage could occur.”  
6-the following statement on the landscape and irrigation plans: “I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plans”.  
7-“A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes.”  
8-“A Certificate of Completion shall be filled out and certified by either the signer of the landscape plans, the signer of the irrigation plans, or the licensed landscape contractor for the project”.  
9-“An irrigation audit report shall be completed at the time of final inspection.”  
10-“A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated.”  
11-“At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule of landscape and irrigation maintenance.”  
12- “Unless contradicted by a soils test, compost at a rate of a minimum of four cubic yards per 1,000 square feet of permeable area shall be incorporated to a depth of six inches into the soil”  
13-“At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule and a schedule of landscape and irrigation maintenance.”  
14-A copy of the construction documents or a comparable document indicating the information from energy code sections 10.10.(c) shall be provide to the occupant”

(Energy code § 110.10 (d))

EXHIBIT “A”  
Page No. 5 of 15  
Case No. ADM-2024-4937-DB-VHCA-ED1

WALL TYPES			
TYPE OF CONSTRUCTION V-A			
OCCUPANCY TYPE R-2			
TAG	LINE STYLE	DESCRIPTION	DETAIL
W1		6" WD STUD EXTERIOR WALL WITH ONE-HOUR FIRE RESISTIVE CONSTRUCTION.	01 A8.20
W2		4" WD STUD (6" WHERE OCCURS) INTERIOR WALL WITH ONE-HOUR FIRE RESISTIVE CONSTRUCTION.	02 A8.20
W3		6" WD STUDS AT 16" PLATE CORRIDOR AND BETWEEN UNITS WALL FIRE PARTITIONS SHALL HAVE A FIRE-RESISTANCE RATING OF ONE-HOUR PER IN ACCORDANCE WITH T1020.1(CBC 1010.1)" C.B.C. SECT 708.3.	03 A8.20
W4		6" WD STUD FIRE BARRIER. SHAFT ENCLOSURES SHALL BE OF 2-HOUR FIRE RATED CONSTRUCTION PER C.B.C. SECTION 707 AND 713.	04 A8.20
W5		13"WD STUDS 1-HOUR FIRE PARTITION BETWEEN UNITS	05 A8.20
W6		5" WD STUD NON-RATED INTERIOR PARTITION WALL.	06 A8.20
W7		6" WD STUDS AT 16" PLATE FIRE BARRIER WITH 2 HR FIRE RESISTIVE CONSTRUCTION	07 A8.20
W8		6" WD STUD EXTERIOR WALL FIRE BARRIER. SHAFT ENCLOSURES SHALL BE OF 2-HOUR FIRE RATED CONSTRUCTION PER C.B.C. SECTION 707 AND 713.	08 A8.20

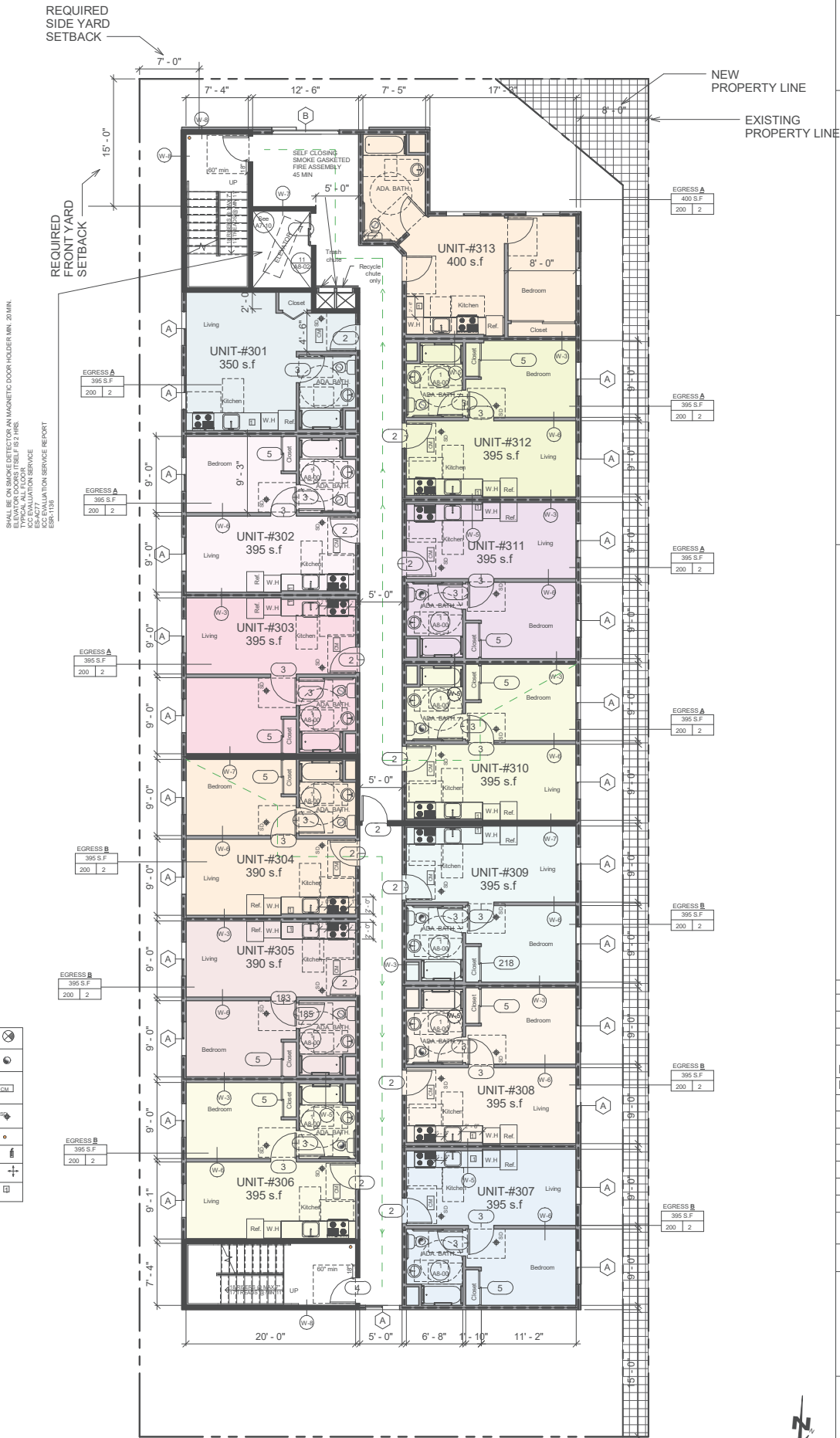
Legend:

ILLUMINATED EXIT SIGNS	
EXHAUST FAN CAPABLE OF 50 cfm EXHAUSTED DIRECTLY TO THE OUTSIDE (ENERGY STAR) WITH HUMIDITY CONTROL	
STATE FIRE MARSHALL APPROVED CARBON MONOXIDE ALARM. INTERWIRED W/ BATTERY BACK-UP	
HARDWIRED WITH BATTERY BACK-UP SMOKE DETECTOR	
STANDPIPE	
FIRE EXTINGUISHER	
2% MAX SLOPE IN ALL DIRECTIONS	
30" clear work space with removable base cabinet. Cabinet material types: quartz 4 inch backsplash	

OCCUPANCY CALCULATIONS	
PATH OF EGRESS A, 120'-0" : 15 OCC. LOAD X 0.2= 3"	
PATH OF EGRESS B, 104'-0" : 12 OCC. LOAD X 0.2= 2.4"	

TOTAL OCCUPANT LOAD @3RD LEVEL: 27

Area of Refuge  
CORRIDOR 800 S.F  
27 OCC. LOAD X 3= 81  
800/2= 400 >81



1 3 THIRD FLOOR PLAN  
1/8" = 1'-0"

METROPOLIS ARCHITECTURE

1401 WESTWOOD BLVD.SUITE320  
LOS ANGELES, CA 90024  
EMAIL:atabak80@gmail.com  
TEL: (310)-503-7123

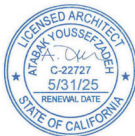
OWNER:

Amir Deris

7095 hollywood bl.#312  
los angeles CA 90028

Tel:310 808 6969

SEAL:



PROJECT:  
700 W 120th St, Los Angeles,  
CA 90044

NO	DESCRIPTION	DATE
1	PLAN CHECK SET	
2	CORRECTION SET	
3	PERMIT SET	

REVISION: 5.14.2024

MARK	DATE	DESCRIPTION

DRAWING BY: PEYMAN PAYDAR

SCALE:

DRAWING TITLE:

THIRD FLOOR PLAN

DRAWING NO.

A.2.02







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## ICC-ES Evaluation Report ESR-1463

Reissued October 2022

This report is subject to renewal October 2023.

**DIVISION: 07 00 00—THERMAL AND MOISTURE PROTECTION**  
Section: 07 53 23—Ethylene-Propylene-Diene-Monomer Roofing  
Section: 07 54 19—Polyvinyl-Chloride Roofing  
Section: 07 54 23—Thermoplastic-Polyolefin Roofing

### REPORT HOLDER:

CARLISLE SYNTec SYSTEMS, A DIVISION OF CARLISLE CONSTRUCTION MATERIALS, LLC

### EVALUATION SUBJECT:

CARLISLE EPDM, PVC AND TPO SINGLE-PLY ROOFING MEMBRANES

### ADDITIONAL LISTEES:

MULE-HIDE PRODUCTS COMPANY, INC.

VERSICO, A DIVISION OF CARLISLE CONSTRUCTION MATERIALS, LLC

WEATHERBOND, A DIVISION OF CARLISLE CONSTRUCTION MATERIALS, LLC

ROOFING PRODUCTS INTERNATIONAL, INC.

### 1.0 EVALUATION SCOPE

Compliance with the following codes:

- 2021, 2018, 2015, 2012 and 2009 *International Building Code®* (IBC)
- 2021, 2018, 2015, 2012 and 2009 *International Residential Code®* (IRC)
- 2013 *Abu Dhabi International Building Code* (ADIBC)<sup>1</sup>

<sup>1</sup>The ADIBC is based on the 2009 IBC, 2009 IRC code sections referenced in this report are the same sections in the ADIBC.

For evaluation for compliance with codes adopted by the Los Angeles Department of Building and Safety (LADBS), see [ESR-1463 LABC and LARC Supplement](#).

### Properties evaluated:

- Weather resistance
- Roof covering fire classification
- Wind uplift resistance
- Impact resistance

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## ICC-ES Evaluation Report ESR-3745

Reissued August 2022

This report is subject to renewal August 2023.

**DIVISION: 05 00 00—METALS**  
Section: 05 40 00—Cold-Formed Metal Framing  
Section: 05 41 00—Structural Metal Stud Framing

### REPORT HOLDER:

PRESCIENT COMPANY, INC.

### EVALUATION SUBJECT:

PRESCIENT FIRE-RESISTANCE RATED WALL AND FLOOR-CEILING ASSEMBLIES

### 1.0 EVALUATION SCOPE

Compliance with the following codes:

- 2021, 2018, 2015, 2012 and 2009 *International Building Code®* (IBC)
- 2021, 2018, 2015, 2012 and 2009 *International Residential Code®* (IRC)

For evaluation for compliance with codes adopted by the Los Angeles Department of Building and Safety (LADBS), see [ESR-3745 LABC and LARC Supplement](#).

### Properties evaluated:

- Structural
- Fire-resistance

### 2.0 USES

The Prescient fire-resistance-rated wall assemblies, with integrated trusses, and Prescient fire-resistance-rated floor-ceiling assemblies, including floor truss assemblies, may be used in fire-resistance-rated construction when installed in accordance with Sections 4.3 and 4.4 of this report. The wall panels described in this report can be used in interior, exterior, bearing and non-bearing wall applications. Penetrations through fire-resistance-rated floor-ceiling assemblies must be protected in accordance with Section 4.5 of this report. Under the IRC, the wall panels and floor-ceiling assemblies must be designed in accordance with IRC Section R301.1.3.

### 3.0 DESCRIPTION

#### 3.1 General:

The Prescient fire-resistance-rated wall panels, with integrated trusses, and floor trusses are factory assembled and shipped to the jobsite for installation. Typical assembly details are provided in Figures 1, 2 and 3.

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## ICC-ES Evaluation Report ESR-1757

Reissued March 2022

This report is subject to renewal March 2024.

**DIVISION: 07 00 00—THERMAL AND MOISTURE PROTECTION**  
Section: 07 18 13—Pedestrian Traffic Coatings

### REPORT HOLDER:

CROSSFIELD PRODUCTS CORP.

### EVALUATION SUBJECT:

DEX-O-TEX WEATHERWEAR ROOF DECK COVERING

### 1.0 EVALUATION SCOPE

Compliance with the following codes:

- 2021, 2018, 2015, 2012, 2009 and 2006 *International Building Code®* (IBC)
- 2021, 2018, 2015, 2012, 2009 and 2006 *International Residential Code®* (IRC)
- 1997 *Uniform Building Code™* (UBC)
- 2013 *Abu Dhabi International Building Code* (ADIBC)<sup>1</sup>

<sup>1</sup>The ADIBC is based on the 2009 IBC, 2009 IRC code sections referenced in this report are the same sections in the ADIBC.

### Properties evaluated:

- Durability
- Wind resistance
- Fire classification
- Fire resistance

### 2.0 USES

Dex-O-Tex Weatherwear Roof Deck Covering is a walking deck and Class A roof system for use over plywood, steel or concrete decks. The system is also used as a component of a one-hour fire-resistance-rated roof assembly.

### 3.0 DESCRIPTION

Dex-O-Tex Weatherwear roof deck covering is a multilayered, trowel-applied, waterproof roof coating that is subjected only to normal foot traffic. The system consists of a series of troweled coatings that form, successively, an elastic latex membrane, an integral composition flashing, and a flexible rubber cement traffic surface, made of Resistite paste, Resistite powder, Neobond II membrane

liquid, N-38 paste, and Standard Neotex powder. A base sheet separates the Dex-O-Tex application from the surface it covers, permitting it to "float" over normal building cracks and movement. Dex-O-Tex Weatherwear components are all combinations of liquid rubber latex polymers incorporating dehydrating powders, vulcanizers, and special aggregates. The total thickness of the material is  $\frac{3}{16}$  inch to  $\frac{1}{4}$  inch (4.8 mm to 6.4 mm).

### 4.0 INSTALLATION

#### 4.1 General:

Installation of the Dex-O-Tex Weatherwear must be in accordance with the manufacturer's published installation instructions, the applicable code and this report. The manufacturer's installation instructions must be available on the jobsite during application. Liquid components have a shelf life of one year and must be stored at temperatures above 32°F (0°C). The system must be installed only when the ambient temperature is above 32°F (0°C). Materials must not be applied if precipitation is occurring or expected.

#### 4.2 Preparation of Substrates:

Structurally sound, clean, dry substrates listed above must be prepared, as described below, prior to the application of the finish material.

**4.2.1 Structural Concrete:** The surfaces must be clean and free of standing water. All holes, joints and cracks must be pointed flush with portland cement mortar, and all high spots cut or ground off to provide a smooth, even surface. Before the material is applied, the substrate must be carefully swept, or blown clean by high-pressure air to remove all dust or foreign material. Special care must be taken in the preparation and cleaning of all corners and edges. Foreign materials such as paint, grease and oil must be removed by either grinding or sandblasting, with new concrete surfaces acid-etched. Large areas to be covered are required to have control joints at maximum intervals not to exceed 20 feet (6096 mm) on center, with the control joint system worked out to meet all known deck stress-concentration points. The control joints must be cut in the same manner as for standard concrete construction, and then caulked.

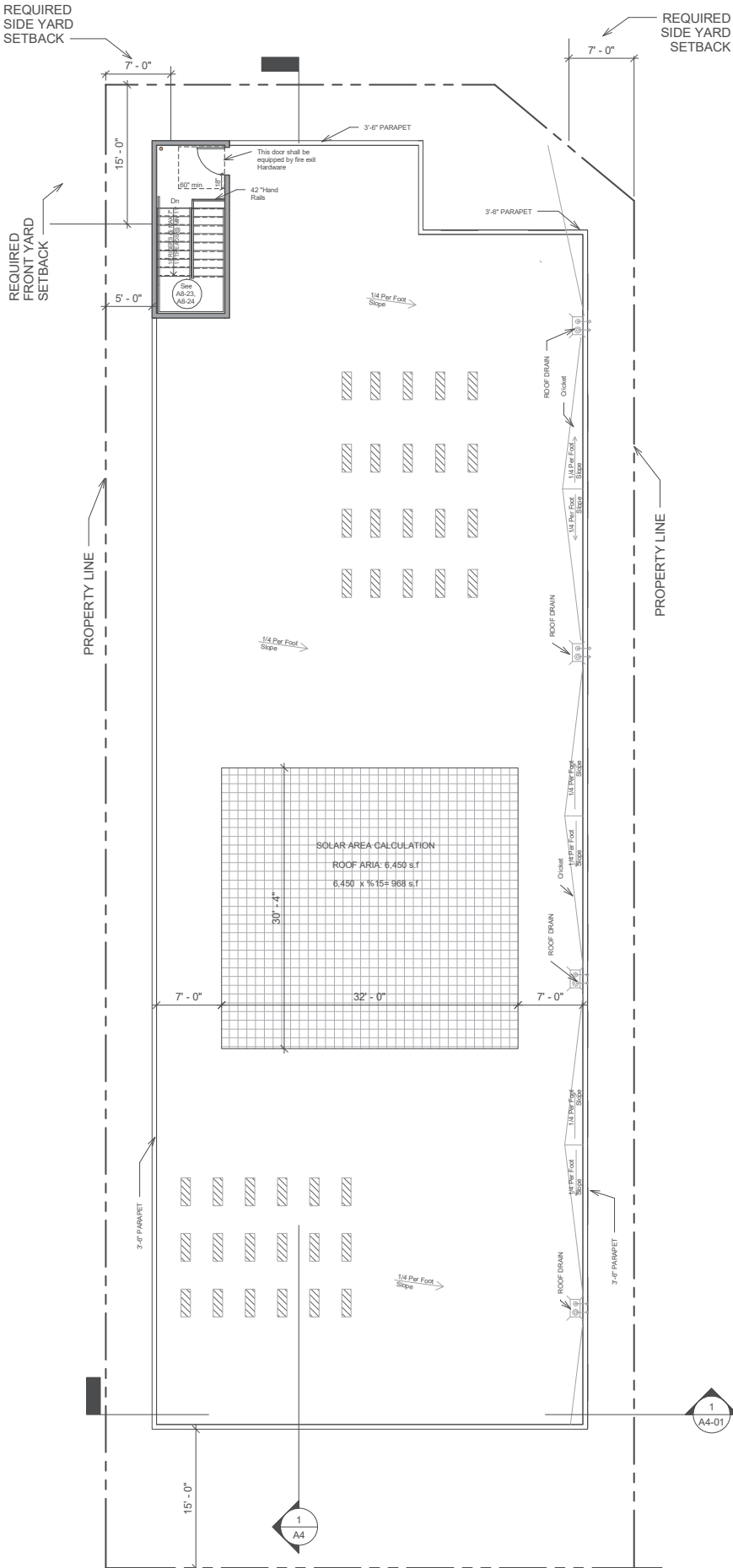
**4.2.2 Plywood Base Material:** Plywood substrates must be minimum  $\frac{1}{2}$ -inch-thick (12.7 mm) exterior-grade plywood, having a maximum span of 16 inches (406 mm), and with tongue-and-groove edges and ends blocked or all

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1 Roof plan,  
1/8" = 1'-0"

### METROPOLIS ARCHITECTURE

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### OWNER:

Amir Deris

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los angeles CA 90028

Tell:310 808 6969

### SEAL:



PROJECT:  
700 W 120th St, Los Angeles,  
CA 90044

NO	DESCRIPTION	DATE
1	PLAN CHECK SET	
2	CORRECTION SET	
3	PERMIT SET	

REVISION: 5.14.2024

MARK	DATE	DESCRIPTION

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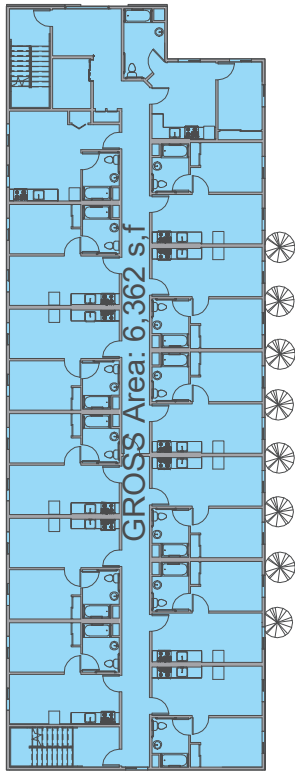
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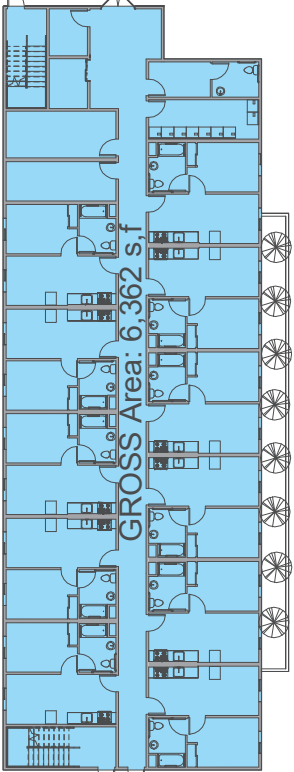
Roof plan

DRAWING NO.

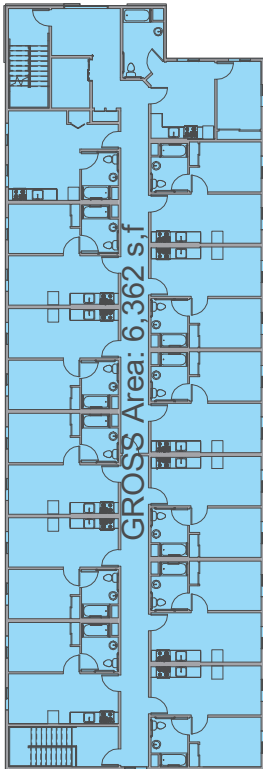
A.2-04



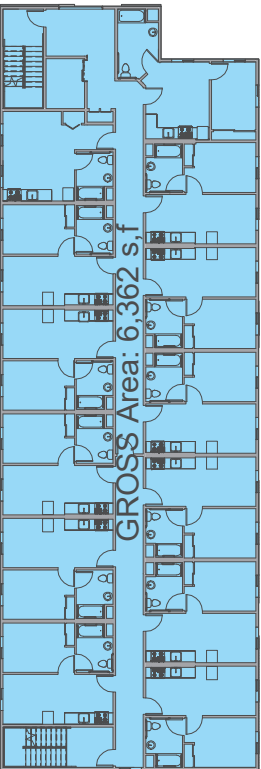
6 2 SECOND FLOOR PLAN GROSS  
1/16" = 1'-0"



5 1 FIRST FLOOR PLAN GROSS  
1/16" = 1'-0"



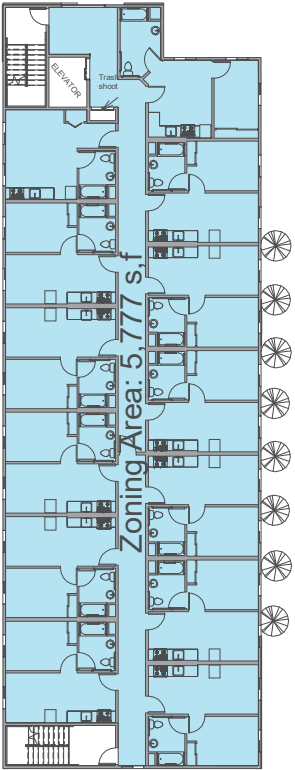
8 4 FOURTH FLOOR PLAN GROSS.  
1/16" = 1'-0"



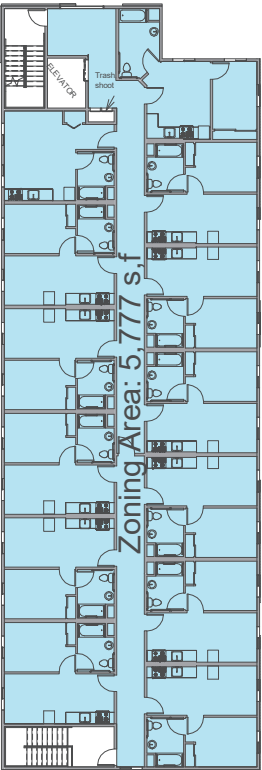
7 3 THIRD FLOOR PLAN GROSS  
1/16" = 1'-0"

First Floor .....6,362 s.f  
Second Floor .....6,362 s.f  
Third Floor .....6,362 s.f  
Fourth Floor .....6,362 s.f

Total floor are (GROSS) =.....25,448s.f



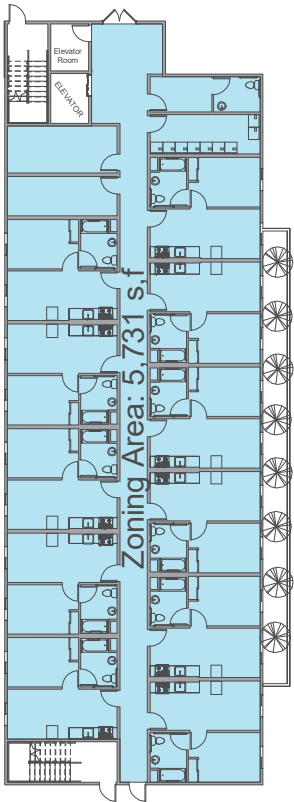
2 2 SECOND FLOOR PLAN ZONING.  
1/16" = 1'-0"



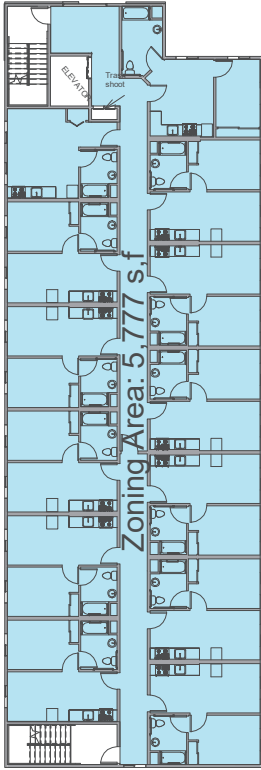
4 4 FOURTH FLOOR PLAN ZONING  
1/16" = 1'-0"

First Floor .....5,731 s.f  
Second Floor .....5,777 s.f  
Third Floor .....5,777 s.f  
Fourth Floor .....5,777 s.f

Total floor are (LAMC) =.....23,062s.f



1 1 FIRST FLOOR PLAN ZONING.  
1/16" = 1'-0"



3 3 THIRD FLOOR PLAN ZONING.  
1/16" = 1'-0"

FLOOR AREA (LAMC SECTION 12.02 DEFINITION)  
THE AREA IN SQUARE FEET CONFINED WITHIN THE EXTERIOR WALLS OF A BUILDING, BUT NOT INCLUDING THE AREA OF THE FOLLOWING: EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS HOUSING BUILDING-OPERATING EQUIPMENT OR MACHINERY; PARKING AREAS WITH ASSOCIATED DRIVEWAYS AND RAMPS, SPACE DEDICATED TO BICYCLE PARKING, SPACE FOR THE LANDING AND STORAGE OF HELICOPTERS, AND BASEMENT STORAGE AREAS.

METROPOLIS ARCHITECTURE

1401 WESTWOOD BLVD.SUITE320  
LOS ANGELES, CA 90024  
EMAIL:atabak80@gmail.com  
TEL: (310)-503-7123

OWNER:

Amir Deris

7095 hollywood bl.#312  
los angeles CA 90028

Tell:310 808 6969

SEAL:



PROJECT:  
700 W 120th St, Los Angeles,  
CA 90044

NO	DESCRIPTION	DATE
1	PLAN CHECK SET	
2	CORRECTION SET	
3	PERMIT SET	

REVISION: 5.14.2024

MARK	DATE	DESCRIPTION

DRAWING BY: PEYMAN PAYDAR

SCALE:

DRAWING TITLE:

AREA PLAN

DRAWING NO.

A.2-05

EXHIBIT "A"

Page No. 8 of 15

Case No. ADM-2024-4937-DB-VHCA-ED1

1401 WESTWOOD BLVD.SUITE320  
LOS ANGELES, CA 90024  
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mir Deris

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angeles CA 90028

||:310 808 6969



PROJECT:  
700 W 120th St, Los Angeles,  
CA 90044

NO	DESCRIPTION	DATE
1	PLAN CHECK SET	
2	CORRECTION SET	
3	PERMIT SET	

REVISION: 5.14.2024

MARK	DATE	DESCRIPTION

DRAWING BY: PEYMAN PAYDAR

SCALE:

DRAWING TITLE:

### FAR CALCULATION

DRAWING NO.

A.2-06

Buildable area : 6,110 s.f  
FAR:RD2-1XL=3:1 (6,110 x 3)=18,330 Allowed < 23,062 s.f Provided  
Proposed FAR:3.77:1 (Using Density Bonus With On-Menu Incentive  
12.22A.25(g)(3))

## EXHIBIT "A"

Page No. 9 of 15

**Case No.** ADM-2024-4937-DB-VHCA-ED1

① FAR CALCULATION  
 $1/8" = 1'-0"$

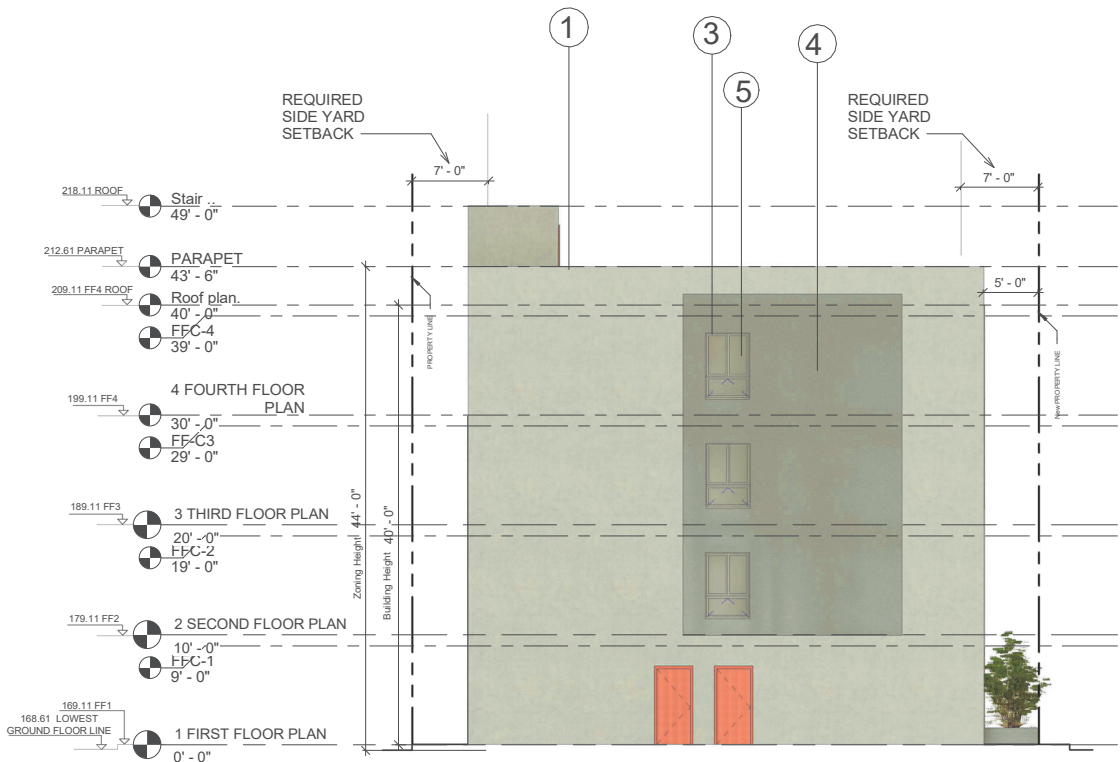




1. East elevation  
1/8" = 1'-0"

TABLE 705.8 MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION				
#	AREA WALL	OPENING AREA	PROVIDED PERCENTAGE	MAXIMUM ALLOWABLE PERCENTAGE(5 to less than 10f, g, j) Protected (P)
FIRST FLOOR	1,380	300	21%	25%
SECOND FLOOR	1,380	312	22%	25%
THIRD FLOOR	1,380	312	24%	25%
FOURTH FLOOR	1,380	312	24%	25%

East ELEVATION



1. SOUTH elevation.  
1/8" = 1'-0"

TABLE 705.8 MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION				
#	AREA WALL	OPENING AREA	PROVIDED PERCENTAGE	MAXIMUM ALLOWABLE PERCENTAGE
FIRST FLOOR	470	24	5%	75%
SECOND FLOOR	470	24	5%	75%
THIRD FLOOR	470	24	5%	75%
FOURTH FLOOR	470	24	5%	75%

SOUTH ELEVATION

Acrylic Exterior Plaster Fine Sand Finish  
Integral Color: Light Concrete  
Antique  
Finish: Satin



Acrylic Exterior Plaster Fine Sand Finish  
Integral Color: Dark Concrete Gray  
Finish: Satin



vinyl window Frame  
Integral Color: Antique Light Brown  
Finish: Satin



Acrylic Exterior Plaster Fine Sand Finish  
Integral Color: Light Concrete Gray  
Finish: Satin



OPERABLE WINDOWS  
Windows w/ 2" inset,w/ mullions  
Color: Light Clear Glass



Wood Siding



PROJECT:  
700 W 120th St, Los Angeles,  
CA 90044

METROPOLIS ARCHITECTURE

1401 WESTWOOD BLVD.SUITE320  
LOS ANGELES, CA 90024  
EMAIL:atabak80@gmail.com  
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los angeles CA 90028

Tell:310 808 6969

SEAL:



NO	DESCRIPTION	DATE
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MARK	DATE	DESCRIPTION

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SCALE:

DRAWING TITLE:

South & EAST ELEVATION

DRAWING NO.

A.3

EXHIBIT "A"

Page No. 10 of 15

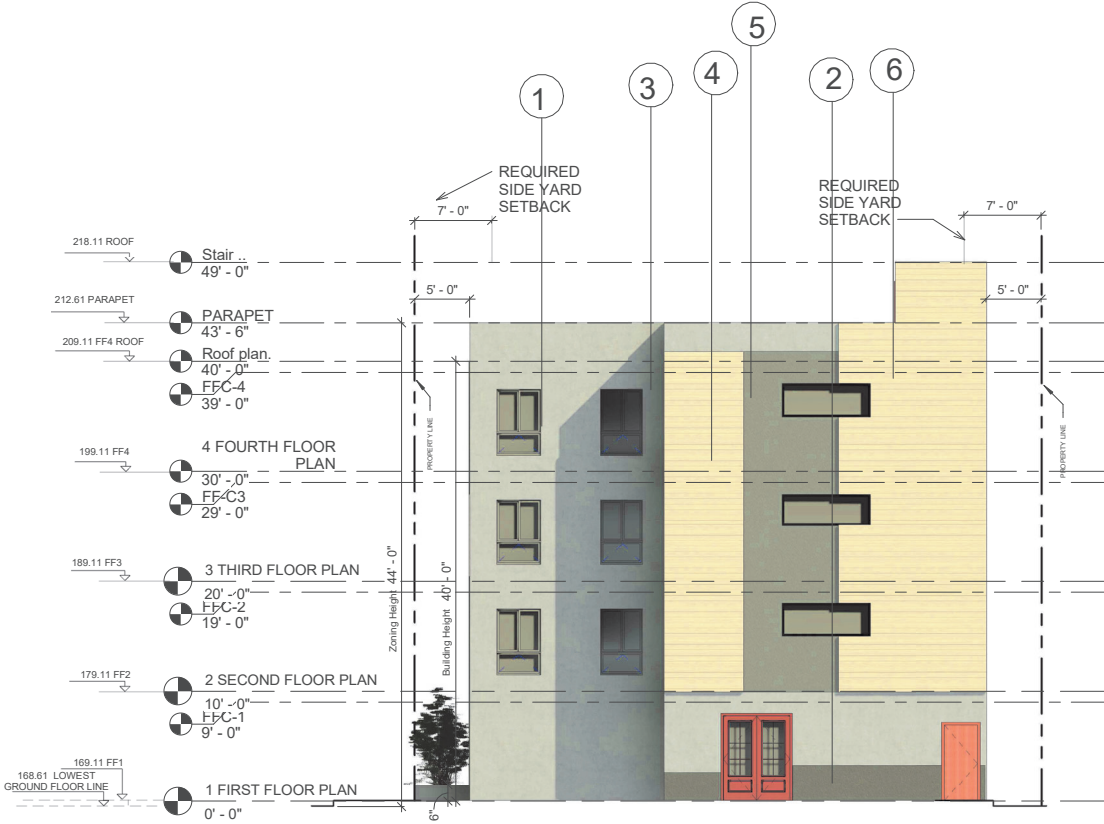
Case No. ADM-2024-4937-DB-VHCA-ED1



① west elevation  
1/8" = 1'-0"

TABLE 705.8 MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION				
#	AREA WALL	OPENING AREA	PROVIDED PERCENTAGE	MAXIMUM ALLOWABLE PERCENTAGE(5 to less than 10f, g, j) Protected (P)
FIRST FLOOR	1,380	276	20%	25%
SECOND FLOOR	1,380	288	21%	25%
THIRD FLOOR	1,380	288	21%	25%
FOURTH FLOOR	1,380	288	21%	25%

West ELEVATION



② North elevation.  
1/8" = 1'-0"

TABLE 705.8 MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION				
#	AREA WALL	OPENING AREA	PROVIDED PERCENTAGE	MAXIMUM ALLOWABLE PERCENTAGE
FIRST FLOOR	470	100	21%	75%
SECOND FLOOR	470	70	15%	75%
THIRD FLOOR	470	70	15%	75%
FOURTH FLOOR	470	70	15%	75%

North ELEVATION

- 1

Acrylic Exterior Plaster Fine Sand Finish  
Integral Color: Light Concrete  
Antique  
Finish: Satin
- 2

Acrylic Exterior Plaster Fine Sand Finish  
Integral Color: Dark Concrete Gray  
Finish: Satin
- 3

vinyl window Frame  
Integral Color: Antique Light Brown  
Finish: Satin
- 4

Acrylic Exterior Plaster Fine Sand Finish  
Integral Color: Light Concrete Gray  
Finish: Satin
- 5

OPERABLE WINDOWS  
Windows w/ 2" inset,w/ mullions  
Color: Light Clear Glass
- 6

Wood Siding

METROPOLIS ARCHITECTURE

1401 WESTWOOD BLVD.SUITE320  
LOS ANGELES, CA 90024  
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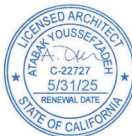
OWNER:

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Tell:310 808 6969

SEAL:



PROJECT:  
700 W 120th St, Los Angeles,  
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NO	DESCRIPTION	DATE
1	PLAN CHECK SET	
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DRAWING BY: PEYMAN PAYDAR

SCALE:

DRAWING TITLE:

WEST & north  
ELEVATION

DRAWING NO.

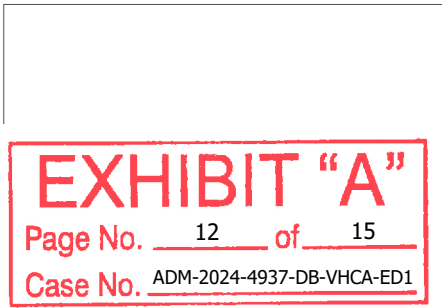
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EXHIBIT "A"

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Case No. ADM-2024-4937-DB-VHCA-ED1





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CA 90044

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3	PERMIT SET	

REVISION: 5.14.2024

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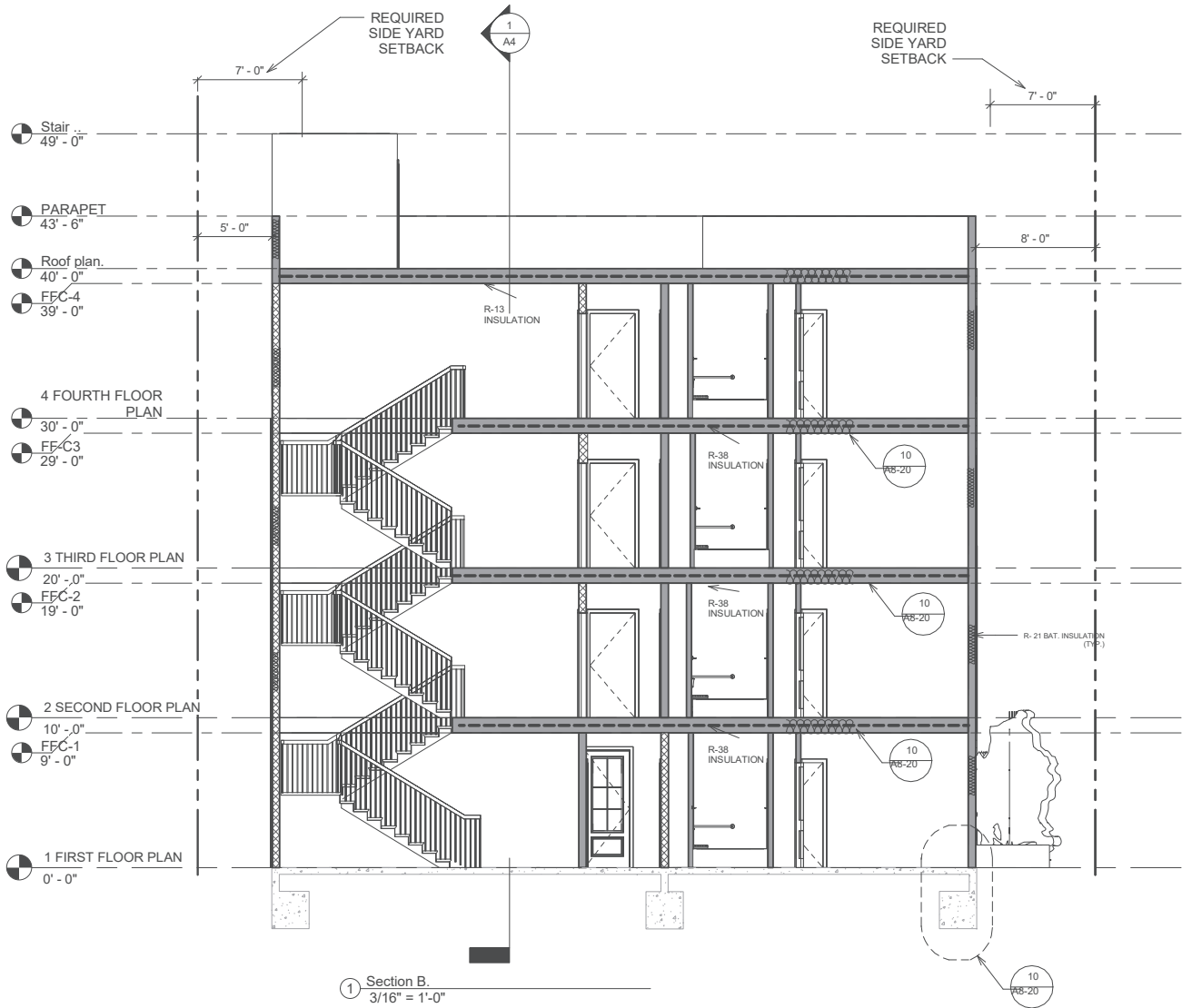
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DRAWING TITLE:

SECTION A

DRAWING NO.

## A.4



D. BICYCLE RACKS CLEARANCES. (CONTINUED)

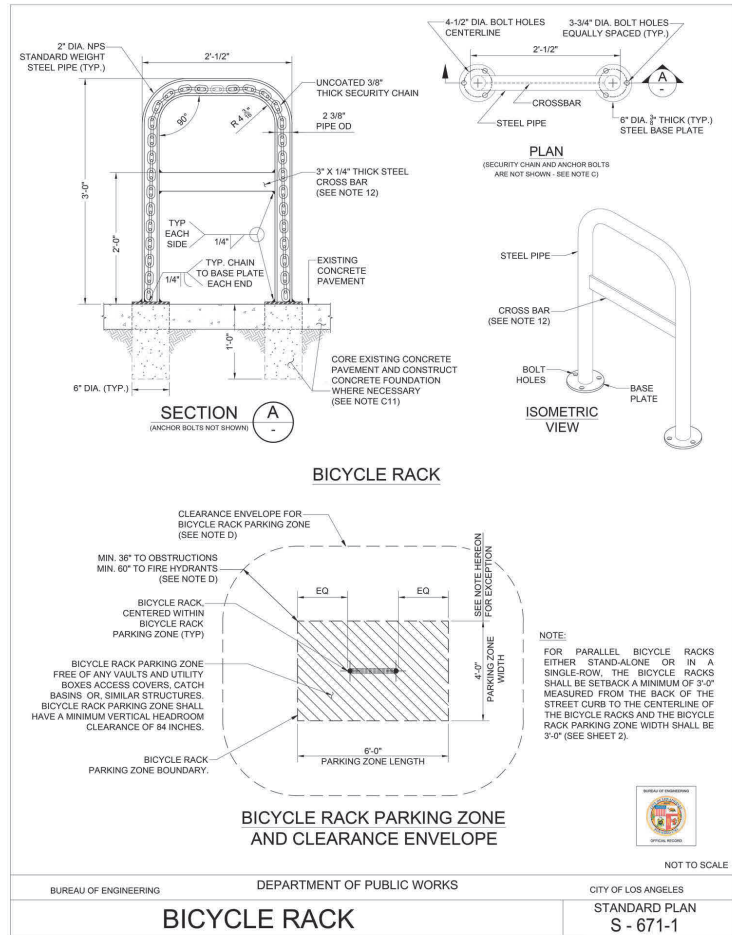
- A MINIMUM FIVE FEET WIDE UNOBSTRUCTED PEDESTRIAN ACCESS ROUTE (PAR) SHALL BE PROVIDED.
- NO BICYCLE PARKING ZONE SHALL PROTRUDE FROM PRIVATE PROPERTY INTO THE SIDEWALK PUBLIC RIGHT-OF-WAY. AMENITY ZONE AND PEDESTRIAN ZONE ARE DEFINED IN THE COMPLETE STREET DESIGN GUIDE.
- UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER AND THE CITY OF LOS ANGELES DEPARTMENT OF TRANSPORTATION (WWW.LADOT.LACITY.ORG), BICYCLE RACKS INSTALLATIONS SHALL CONFORM WITH THE FOLLOWING CLEARANCES AND ALL APPLICABLE AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS. UNLESS OTHERWISE NOTED, THE FOLLOWING BICYCLE RACKS PARKING ZONE CLEARANCE ENVELOPES ARE MEASURED FROM THE BOUNDARY OF THE BICYCLE RACK PARKING ZONE:
  - PROVIDE 45 FEET MINIMUM CLEARANCE FROM ALL STREET CORNERS.
  - PROVIDE 25 FEET MINIMUM CLEARANCE FROM THE BEGINNING OF THE CURB RETURN (BCR), THE END OF THE CURB RETURN (ECR) AND, THE TOP OF THE CURB OF ANY CURB RAMP, DRIVEWAY, OR ALLEY INTERSECTION.
  - PROVIDE 60 INCHES MINIMUM CLEARANCE TO FIRE HYDRANTS. PROVIDE 48 INCH MINIMUM CLEARANCE TO FIRE DEPARTMENT CONNECTIONS WHETHER THE CONNECTIONS ARE LOCATED IN THE PUBLIC RIGHT-OF-WAY OR ON PRIVATE PROPERTY ALONG A BUILDING FACE.
  - EACH BICYCLE RACK PARKING ZONE SHALL HAVE AT LEAST ONE 48 INCH WIDE MINIMUM CLEAR AND UNOBSTRUCTED CONTINUOUS SIDEWALK PATH TO ALLOW FOR EGRESS AND INGRESS FROM EACH BICYCLE RACK PARKING ZONE TO AND FROM THE SIDEWALK AREA. THIS PATH MAYBE ADJACENT TO EITHER THE WIDTH OR THE LENGTH SIDES OF EACH PARKING ZONE.
  - PROVIDE 36 INCHES MINIMUM CLEARANCE TO OBSTRUCTIONS SUCH AS SIDEWALK FURNITURE OR STREET IMPROVEMENTS INCLUDING BUT NOT LIMITED TO STREET TREES, TREEWELLS, PARKWAYS, PARKING METERS, STREET LIGHTING, TRAFFIC SIGNS OR POSTS, OTHER UTILITY FACILITIES/ COVERS.
  - WHERE ON-STREET PARKING IS ALLOWED, PROVIDE 18 INCHES MINIMUM CLEARANCE (CONVENIENCE STRIP) TO THE BACK OF THE CURB.
  - PROVIDE 4 INCH MINIMUM CLEARANCE FROM THE BICYCLE RACK BASE PLATE EDGE TO ANY EXPANSION JOINT OR CONTROL JOINT IN THE CONCRETE SIDEWALK PAVEMENT.
  - UNLESS THE OUTSIDE BOUNDARY OF A BICYCLE RACK PARKING ZONE IS SET 10 FEET OR MORE FROM A PARKWAY, OR 4 FEET OR MORE FROM A TREEWELL, MEASURED PARALLEL TO FACE OF CURB AND IS UNOBSTRUCTED FROM PEDESTRIANS VIEW, NO PART OF THE BICYCLE RACK PARKING ZONE SHALL PROTRUDE BEYOND THE ADJACENT PARKWAY TREEWELL ALIGNMENT. IN ADDITION, NO PART OF THE BICYCLE RACK PARKING ZONE SHALL PROTRUDE INTO THE REQUIRED PEDESTRIAN ZONE AND/OR THE PEDESTRIAN ACCESS ROUTE.
  - BICYCLE RACKS LAYOUTS - NOT WITHSTANDING THE CLEARANCES NOTED ABOVE, THE FOLLOWING LAYOUT REQUIREMENTS APPLY:

BICYCLE RACK PARKING ZONES		MIN. SIDEWALK BORDER (FEET)*	
SIZE	LAYOUT	STREET PARKING PERMITTED	STREET PARKING NOT PERMITTED**
36" X 72"	PARALLEL: SINGLE ROW OR STAND-ALONE	10	10
48" X 72"	PERPENDICULAR: SINGLE ROW OR STAND-ALONE	13	12
	PARALLEL: DOUBLE-STACKED	15	14

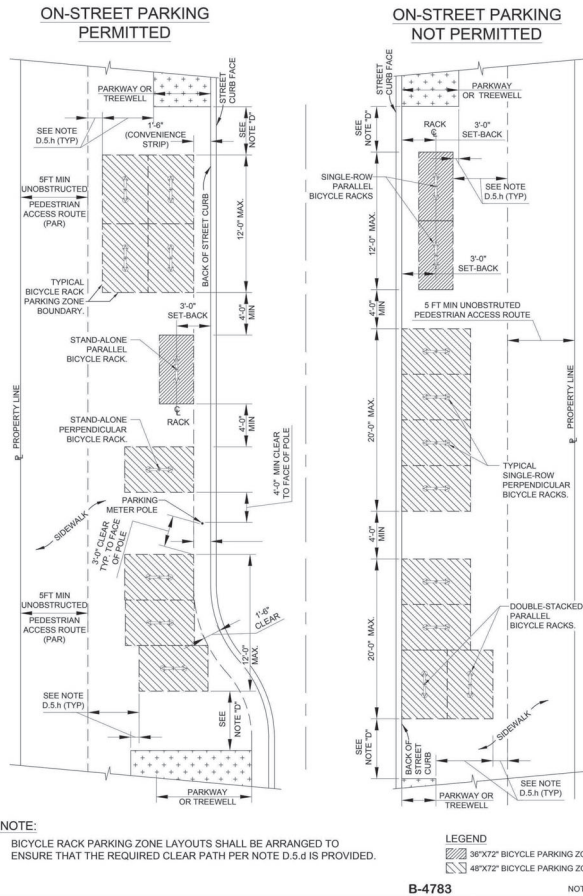
\*SIDEWALK BORDER IS MEASURED FROM THE CURB FACE TO THE PROPERTY LINE.  
\*\*WHERE STREET PARKING RESTRICTION IS LIFTED, PERMITTEE SHALL RELOCATE BICYCLE RACK AT THE DIRECTION OF THE CITY.

NOTES:

- ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC) ADOPTED BY THE BOARD OF PUBLIC WORKS AS AMENDED BY THE LATEST CORRESPONDING CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS BROWN BOOK.
- COVENANT AND MAINTENANCE AGREEMENT: ALL BICYCLE RACKS INSTALLED UNDER WORK PERMIT SHALL BE MAINTAINED BY THE PERMITTEE. THE PERMITTEE SHALL COMPLETE THE COVENANT & AGREEMENT (C&A) FORM, AVAILABLE FROM THE DEPARTMENT OF TRANSPORTATION DEVELOPMENT REVIEW DIVISION, EXECUTE IT WITH THE CITY AND RECORD IT WITH THE LOS ANGELES COUNTY REGISTRAR/RECORDER. SUBMIT A COPY OF RECORDED C&A TO THE CITY ENGINEER BEFORE A WORK PERMIT CAN BE ISSUED.
- GENERAL:
  - UNLESS OTHERWISE SPECIFIED OR APPROVED BY THE CITY ENGINEER, THE BICYCLE RACK SHALL BE AN INVERTED-U DESIGN.
  - BICYCLE RACKS SHALL ALLOW FOR THE USE OF A CABLE AND "U" TYPE LOCKS, AND SHALL SUPPORT THE BICYCLE FRAME (NOT THE WHEEL) AT TWO POINTS, A MINIMUM OF 12 INCH APART.
  - PIPE: ASTM A53 GRADE B STANDARD WEIGHT STEEL PIPE; 2 INCH DIA. CONSTRUCTED OF 90 DEGREE BENDS WITH AN INSIDE RADIUS BEND OF 4-1/8 INCHES. SECURITY CHAIN SHALL BE ASTM A413, GRADE 30 PROOF COIL CHAIN, SIZE 3/8 INCH.
  - BASE PLATE: ASTM A36 3/8 INCH THICK PLATE WITH THREE 3/4 INCH DIA. HOLES AT 120 DEGREES SPACING.
  - BOLT: TAMPER-PROOF DRIVE TYPE PIN ANCHOR BOLT WITH A ROUND HEAD MADE OF ZINC PLATED AISI 1038 HEAT TREATED CARBON STEEL, 1/2 INCH DIA BY 3 INCHES LONG. THE ANCHOR BOLT SHALL BE MANUFACTURED BY POWERS FASTENERS (WWW.POWERS.COM), ALLIED FASTENER AND TOOL (WWW.ALLIEDFASTENER.COM), OR AN APPROVED EQUIVALENT. NO ANCHOR BOLT SHALL CONTAIN ANY SHARP EDGES.
  - ALL METAL COMPONENTS INCLUDING ALL BOLT HOLES SHALL HAVE MINIMUM 4 MIL THICK BLACK COLORED, LONG WEARING, MILDEW AND ULTRAVIOLET RAY RESISTANT ELECTROSTATIC POLYESTER COATING MADE OF TRIGLYCIDYL (TGO) APPLIED IN THE FACTORY PRIOR TO DELIVERY. ALTERNATE COATING SHALL BE CITY APPROVED THERMOPLASTIC (8-10 MIL THICK).
  - BEFORE COATING APPLICATION, THE BICYCLE RACK SHALL BE SANDBLASTED AND EPOXY PRIMED.
  - ALL FINISH COATINGS SHALL BE MAINTAINED BY THE PERMITTEE. ANY DAMAGED SURFACE AREA INCLUDING THOSE RESULTED FROM THE INSTALLER'S OPERATION SHALL BE REPAIRED TO THE CITY ENGINEER'S SATISFACTION WITH APPROVED MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION. ALL WASTE SHALL BE HANDLED AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE EPA AND/OR CALIFORNIA STATE REQUIREMENTS.
  - ALL VENT HOLES USED DURING FABRICATION MUST BE PLUGGED AND COATED.
  - ALL BOLT HOLES IN THE CONCRETE PAVEMENT OR THE CONCRETE FOUNDATION SHALL BE PREDRILLED HOLES, 1/2 INCH DIA. BY 2 3/4 INCHES DEEP. PRIOR TO INSTALLATION, ALL BOLT HOLES SHALL BE CLEARED OF DUST OR DELETERIOUS MATERIAL. ALL ANCHOR BOLTS SHALL BE DRIVEN VERTICALLY THROUGH THE SUPPORT PLATE INTO THE BOLT HOLES UNTIL THE HEAD IS FIRMLY SEATED AGAINST THE SUPPORT PLATE. NO PROTRUDING OR NON-FLUSH ANCHOR BOLTS SHALL BE USED.
  - FOR CONCRETE PAVEMENT THAT IS LESS THAN 3 INCHES THICK, CONSTRUCT CONCRETE FOUNDATION IN ACCORDANCE WITH THE SPECIFIED DETAILS. BIKE RACKS SHALL BE INSTALLED PARALLEL WITH THE PREVAILING SIDEWALK GRADE. THE SIDEWALK GRADE SHALL BE MEASURED AND THE BIKE RACKS LEGS SHALL BE ADJUSTED TO MATCH THE SIDEWALK GRADE BEFORE WELDING THEM TO THE BASE PLATE. FOR CONCRETE PAVEMENT WITH MINOR UNEVENNESS, USE HOT DIPPED GALVANIZED STEEL OR STAINLESS STEEL WASHERS TO LEVEL THE BIKE RACK AND THE BASE PLATES BEFORE DRIVING THE ANCHOR BOLTS. FILL ALL OPENINGS AND VOIDS WITH NON-SHRINK GROUT AFTER ERECTION OF THE BICYCLE RACK.
  - FOR PARALLEL BICYCLE RACK(S), INSTALLED BY THE LOS ANGELES DEPARTMENT OF TRANSPORTATION (LADOT), ARRANGED IN EITHER A SINGLE ROW OR AS A SINGLE STAND-ALONE RACK, LADOT WILL MAKE THE FINAL DETERMINATION OF WHETHER OR NOT A CROSSBAR IS NEEDED FOR THE BICYCLE RACKS. FOR ALL OTHER RACK LAYOUTS, REGARDLESS OF WHO INSTALLS THEM, A BICYCLE RACK CROSSBAR SHALL BE PROVIDED.
- BICYCLE RACK CLEARANCES:
  - FOR SINGLE PARALLEL BICYCLE RACKS AND SINGLE-ROW PARALLEL BICYCLE RACKS, EACH BICYCLE RACK SHALL HAVE A PARKING ZONE OF 36 INCH WIDE BY 72 INCH LONG. FOR ALL OTHER BICYCLE RACK ARRANGEMENTS, EACH BICYCLE RACK SHALL HAVE A PARKING ZONE OF 48 INCH WIDE BY 72 INCH LONG.
  - BICYCLE RACKS SHALL BE INSTALLED WITHIN THE SIDEWALK AMENITY ZONE ADJACENT AND CLOSEST TO THE STREET CURB OUTSIDE BUS BOARDING ZONES AT LOCATIONS APPROVED BY THE CITY ENGINEER AND THE CITY OF LOS ANGELES DEPARTMENT OF TRANSPORTATION.



BICYCLE RACK PARKING ZONE LAYOUTS



NOTE:  
BICYCLE RACK PARKING ZONE LAYOUTS SHALL BE ARRANGED TO ENSURE THAT THE REQUIRED CLEAR PATH PER NOTE D.5.d IS PROVIDED.

LEGEND  
36"X72" BICYCLE PARKING ZONE  
48"X72" BICYCLE PARKING ZONE

EXHIBIT "A"  
Page No. 13 of 15  
Case No. ADM-2024-4937-DB-VHCA-ED1

METROPOLIS ARCHITECTURE

1401 WESTWOOD BLVD.SUITE320  
LOS ANGELES, CA 90024  
EMAIL:atabak80@gmail.com  
TEL: (310)-503-7123

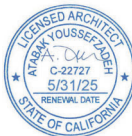
OWNER:

Amir Deris

7095 hollywood bl.#312  
los angeles CA 90028

Tell:310 808 6969

SEAL:



PROJECT:  
700 W 120th St, Los Angeles,  
CA 90044

NO	DESCRIPTION	DATE
1	PLAN CHECK SET	
2	CORRECTION SET	
3	PERMIT SET	

REVISION: 5.14.2024

MARK	DATE	DESCRIPTION

DRAWING BY: PEYMAN PAYDAR

SCALE:

DRAWING TITLE:

SECTION B

DRAWING NO.

A4-01







METROPOLIS ARCHITECTURE INC.

OWNERS:

SEAL:



700 W 120th St., Los Angeles, CA 90044

[illegible]

DATE: 06-06-24      SCALE: AS NOTED

DRAWN BY: Layla K.

SHEET TITLE:

**LANDSCAPE PLAN**

SHEET NUMBER:

L-1

CITY POINTS					
Potential Landscape Area (Lot Area minus Building Footprint)					
LOT AREA	9,600.9	SF			
BUILDING FOOTPRINT:	5,820	SF			
TOTAL POTENTIAL LANDSCAPE AREA	3,780.9	SF			
Open Space Required					
Shrub @100 SF	3	300	SF		
One tree/lot @100 SF	47	4,700	SF		
TOTAL		5,000	SF		
Open Space Provided:					
REAR GARDEN		332	SF		
BACK GARDEN		500	SF		
TOTAL		832	SF		
Total points required per Guidelines C: (To Lot area 9,600.9 SF)					
DETAIL OF POINTS PROVIDED	POINTS PER ITEM	QTY.	POINTS CLAIMED	CALCULATED	
Soil amended w Class I FERTIGRO Mulch	5	1	5	L-1 NOTE B	
Three shading east and west exposure	2/25	9	45		
Vines on edges	250/10	14	280		
SUBTOTAL OF PROVIDED POINTS TOTAL:				314	
ST PROVIDED POINTS > 10 POINTS required (Guideline C) <u>314</u>					
Total points required for Guidelines AA: 100 (Lot area 9,600.9 SF) + 215 PROVIDED POINTS > 200 POINTS REQUIRED (Guideline AA) <u>315</u>					
Landscape material (25% of required points)	25/10	1	25	L-1, L-2	
Sensor for rain	1	1	1	L-1, L-2	
Automatic irrigation control	5	1	5	L-1, L-2	
City irrigation	Scourous	2	10	Legend L-1	
Open	10	1	10	Legend L-1	
Plants requiring monthly summer water after established for 3 years	2/point	62	124	Legend L-1	
SUBTOTAL AS PROVIDED POINTS TOTAL:				215	
This subdivision shall record a covenant and agreement satisfactory to the Advisory Agency guaranteeing that:					
A. the planting and irrigation system shall be completed by the developer/builders prior to the close of escrow of 50 percent of the units of the project or phase.					
B. Sixty days after landscape and irrigation installation, the landscape professional shall submit to the homeowners / property owners association a Certified of Substantial Compliance (12.40 G LAMC).					
C. The developer / builder shall maintain the landscaping and irrigation for 60 days after completion of the landscape and irrigation installation.					
D. The developer / builder shall guarantee all trees and irrigation for a period of six months and all other plants for a period of 90 days after landscape and irrigation installation.					

REQUIRED AND PROVIDED TREES TABLE			
TREES	NUMBER RATIO		QTY
PER UNIT	50	TREE/4 UNITS	13
MIN. NO. TREES REQ.			
TREES PROVIDED			
LOCATION	SHEET	SIZE	QTY
PLANTING AREAS	L1	24" BOX	13
TOTAL TREES		24" BOX	13

For projects that include landscape work, the Landscape Certification, Form GRN 12, shall be completed prior to final inspection approval. (State Assembly Bill No. 1881, 5.304.1) I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package.

**Sign:**  06/06/2025

A minimum 3-in. layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct-seeding applications when mulch is contraindicated.

For soils less than 6% organic matter in the top 6 in. of soil, compacted or stony, the rate of 4 cu. yd. per 1,000 sq. ft. of permeable area shall be incorporated to a depth of 6 in. into the soil.

Recirculating water systems shall be used for law features.

I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plans. A Certificate of Completion shall be filled out and verified by either the signer of the landscape plans, the signer of the irrigation plans, or the licensed landscape contractor for the project.



## LANDSCAPE PLAN

SC: 3/32"=1'-0"

2. Refer to LID plans for LID and drainage systems
1. If plant availability requires changes to the plant palette, please contact landscape architect for substitutions
- B - Soil in planting areas to be amended with Class I Forest Floor Mulch available from C&M Topsoil, Inc. (818) 899-5485
- Guideline C- 1 tree/500 SF landscape area in the project
- Back yard planted area = 500 SF
- Required shade tree 832/500 SF = 1.66
- Provided shade trees = 13 > required



Landscape  
832 s.f.



Dedication  
CONCRETE  
480 s.f.



Permeable Concrete  
1,782 s.f.

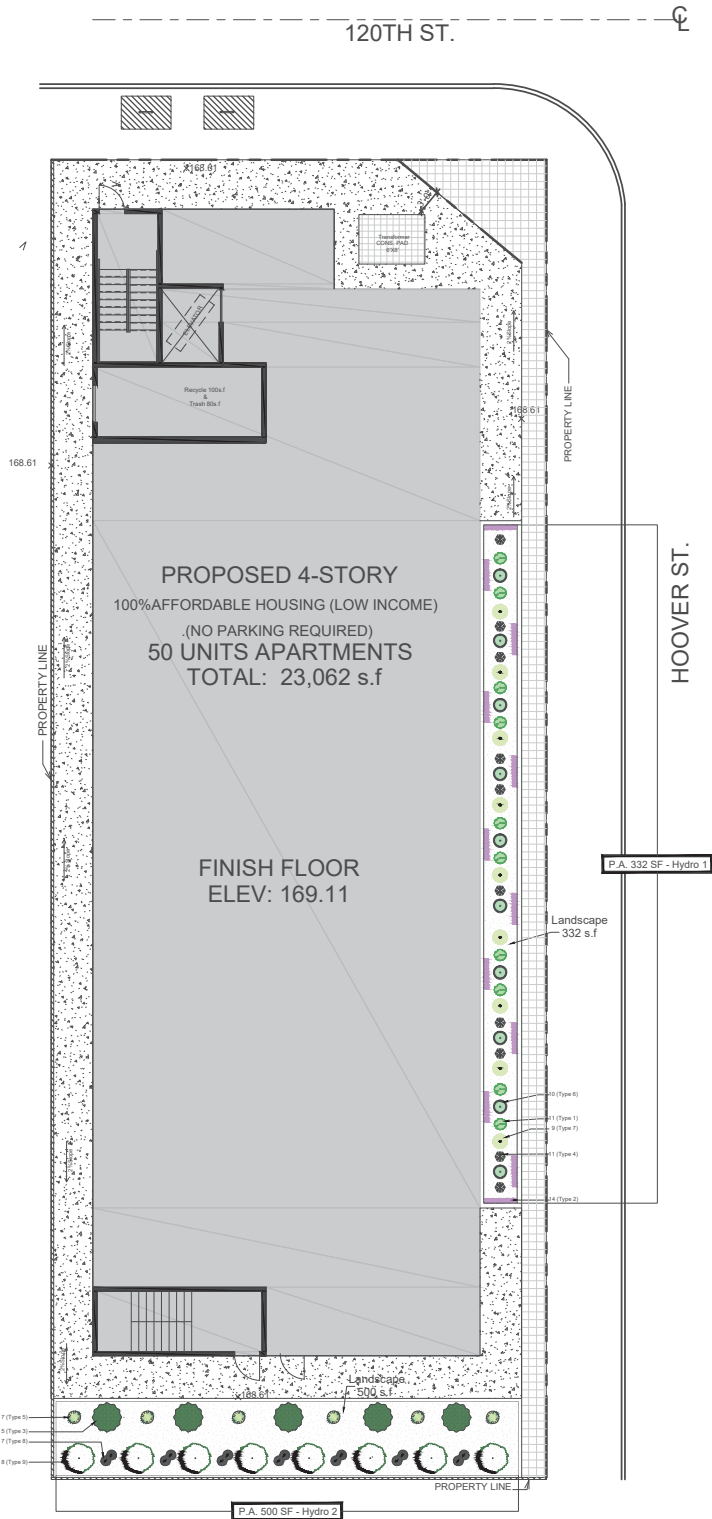


4-STORY  
NEW CONSTRUCTION

		Legend				Planting		
	Botanical Name	Common Name	Size	Qty/Spacing	(H x W)		WUCOLS	
1	<b>Juncus patens</b>	California Gray Rush	5 Gal.	11' 18" OC	12'-16" x 8"		Low	
2	<b>Hardenbergia violacea</b> 'Canoelands'	Purple Lilac Vine	5 Gal.	14' 60" OC	48" x 6"		Low	
3	<b>Cercidium x 'Desert Museum'</b>	Desert Museum Palo Verde	24" Box	5 Per plan	11'-12' x 4'-5'		Low	
4	<b>Dietsa hybrida</b> 'Lemon Drops'	Lemon Drops Fortnight Lily	5 Gal.	11' 30" OC	17'-19" x 13'-15"		Low	
5	<b>Euphorbia tirucalli</b> 'Sticks of Fire'	Red Pencil Tree	5 Gal.	7' 36" OC	18" x 18"		Low	
6	<b>Olea europaea</b> 'Montra'	Little Ollie Dwarf Olive	5 Gal.	10' 36" OC	12" x 18"		Low	
7	<b>Pedilanthus macrocarpus</b>	Slipper Plant	5 Gal.	9' 36" OC	18" x 14-16"		Low	
8	<b>Santolina rosmarinifolia</b>	Green Santolina	5 Gal.	7' 24" OC	12" x 14"		Low	
9	<b>Olea europaea</b> 'Swan Hill'	Swan Hill Olive	24" Box	8 Per plan	9-10' x 3'-4'		Low	

50 RES. UNITS / 4 = 12.5=13 TREES REQ.  
5(type 3) + 8(type 9)= 13 TREES PROVIDED > REQUIRED

\*Plant spacing is nominal, final placement TBD during landscape installation



The following waivers/reductions of development standards are being requested for this project: 63% reduction to Required Open Space, Variable (45%-89%) reductions to Required Setbacks, Waiver of Required Encroachment Plane, 125% increase to Required Maximum Building Height, 100% reductions to Required Short-Term and Long-Term Bike Parking, 584% increase to Required Maximum Residential Floor Area, 75% reduction to Required Tree Planting, and Waiver of Required Side Yard Offset/Plane Break.

### **Density Bonus with Waiver of Development Standards**

*Pursuant to Government Code Section 65915, the decision maker shall approve a Density Bonus and requested Waiver(s) of Development Standards unless the decision maker finds that:*

1. *The waiver[s] or reduction[s] of development standards will not have the effect of physically precluding the construction of a development meeting the [affordable set-aside percentage] criteria of subdivision (b) at the densities or with the concessions or incentives permitted under [State Density Bonus Law] (Government Code Section 65915(e)(1)).*

The waivers and reductions of development standards were requested to allow the maximum allowable density of one hundred eleven (111) dwelling units pursuant to AB 1287. Without these requested waivers, the project would be primarily restricted by the maximum 28 ft building height requirement as well as a 0.45 FAR maximum. Strict adherence to any of the development standards for which waivers are requested means the project would not be able to reach the maximum allowable density. The requested waivers – as described above – ensure that this dwelling unit maximum may be met.

2. *The waivers or reductions of development standards would have a specific, adverse impact, as defined in paragraph (2) of subdivision (d) of Section 65589.5, upon public health and safety or on any real property that is listed in the California Register of Historical Resources and for which there is no feasible method to satisfactorily mitigate or avoid the specific, adverse impact without rendering the development unaffordable to low-income and moderate-income households.*

The project site is located adjacent to a freeway, single-family residential uses, and commercial uses. The site is also within 500 ft of other multi-family residential uses; no other sensitive uses or sites of historical significance exist within such a close proximity. As such, granting the requested waivers/reductions of development standards means no specific, adverse impact to public health, safety, or any protected areas.

3. *The waivers or reductions of development standards are contrary to state or federal law.*

The requested waivers/reductions of development standards are in full compliance with state/federal law.

### **Conditional Use Permit for Greater than 35% Density Bonus**

*Pursuant to LAMC Section 12.24 U.26 of Chapter 1, Density Bonus requests for Housing Development Projects in which the density increase is greater than the maximum permitted in LAMC Section 12.22 A.25 of Chapter 1 shall also find that:*

- 1. The project is consistent with and implements the affordable housing provisions of the Housing Element of the General Plan.*

Due to the project site's unusual zoning, the project will utilize the density provided by the General Plan Land Use designation to allow for the most possible density on the site, thus enhancing the availability of affordable housing in the area. The project aims to add to the City's stock of new affordable housing and expand rental housing options for people of all income levels. As an infill development project, no housing units will be replaced and no displacement will occur.

- 2. The project contains the requisite number of Restricted Affordable Units, based on the number of units permitted by the maximum allowable density on the date of the application, as identified in LAMC Section 12.24 U.26(a)(2) of Chapter 1.*

The project proposes 111 dwelling units, coming from a base density of 53 units per lot area and zoning requirements, as well as a 100% density bonus. The 111 units are broken down to 93 market rate units with set-aside Restricted Affordable Units at 9 units (15%) VLI, 9 units (15%) MI. According to the additional "stackable" density bonus pursuant to AB 1287, the set-aside 15% VLI allows for an initial 50% density bonus and the other 15% MI allows for an additional 50% density bonus.

- 3. The project meets any applicable dwelling unit replacement requirements of California Government Code Section 65915(c)(3).*

The project site is a split-zoned parcel that has a greater improved portion on the east of the site and a lesser unimproved portion to the west, partially separated by an alley. The improved portion has only been used as a truck parking lot. There have been no residential uses on the site in the past 5 years, and the project proposes to add units to the site; therefore, the project will not replace any units, resulting in No Net Loss of units to the site.

- 4. The project's Restricted Affordable Units are subject to a recorded affordability restriction of 55 years from the issuance of the Certificate of Occupancy, recorded in a covenant acceptable to the Los Angeles Housing Department, and subject to fees as set forth in LAMC Section 19.14.*

An Affordable Housing Covenant will be prepared upon suitable determination by either LADBS, the Planning Conditions letter, City Council action, or as dictated in City ordinance or law as entailed by LAHD.

5. *The project addresses the policies and standards contained in the City Planning Commission's Affordable Housing Incentives Guidelines.*

The project addresses any pertinent policies and standards discussed in the Affordable Housing Incentives Guidelines. The project does not request any incentives/concessions.

## FINDINGS/SPECIAL REQUIREMENTS

### CITYWIDE DESIGN GUIDELINES Compliance Review Form



### Authorizing Provision

The Los Angeles City Planning Commission adopted the Citywide Design Guidelines on October 24, 2019.

### Purpose

The Citywide Design Guidelines are intended, among other things, to communicate the City's design expectations, facilitate fair and consistent application of design objectives, and to encourage the development of projects appropriate to the context of the City's climate and urban environment.

### General Information

With the exception of residential projects with four or fewer units, projects utilizing the Permanent Supportive Housing Ordinance, or projects utilizing an applicable State streamlining measure (e.g., SB 35, AB 2162), all projects that are either constructing a new main building or pursuing a Vesting Tentative Tract Map shall complete this Citywide Design Guidelines Compliance Review Form and submit it as part of the project application.

### Project Information

**Case Number:** \_\_\_\_\_

**Site Address:** 11516 S Vermont Ave, Los Angeles, CA 90044

**Project Request:** New construction of a six-story, 111-unit apartment building that includes 18 set-aside

affordable units pursuant to AB 2334, AB 1287, and AB 2097. The building will consist of five

stories of residential over one story of parking; it will stand 63 feet tall with an approximate

floor area of 103,305 SF. Numerous waivers of development standards requested.

### Instructions

On the following pages, describe how, and to what extent, the project achieves the intent of the Guidelines and/or complies with each of the 10 Citywide Design Guidelines. Identify the Sheet Number(s) of the project plans on which information can be found illustrating alignment with each Guideline. If a particular Guideline is not applicable, please indicate as such below. Example language is provided on the Sample Citywide Design Guidelines Compliance Form (CP-4057).

## PEDESTRIAN-FIRST DESIGN

**Guideline 1: Promote a safe, comfortable, and accessible pedestrian experience for all.**

Sheet A-2.01: A pair of courtyards will be available to residents on the second floor, allowing the building to break up its mostly rectangular design.

Sheet A-1.00: Exclusive pedestrian access will be available on the western boundary of the site with frontage on S Vermont Ave. It will be landscaped such that a buffer is created between the entry and the parking lot.

Sheet A-2.03: A roof deck will be positioned on the northwestern corner of the building such that any residents wanting to use it are passively shielded by the building from the 105 freeway to the south.

**Guideline 2: Carefully incorporate vehicular access such that it does not degrade the pedestrian experience.**

Sheet A.1-00: The project will incorporate the alley to the north (coming down from W 115th St) for use as the vehicular point of access to the site.

Sheet A.2-00: For pedestrians, there will be two points of entry to the building. Vehicular access has been designed such that ample space will be provided for comfortable access.

Sheet A.2-00: Within the first floor parking lot, no parking spot will preclude pedestrian access to and from the building.

**Guideline 3: Design projects to actively engage with streets and public space and maintain human scale.**

Sheet A-1.00: Trees will be planted on the part of the site with frontage to S Vermont Ave, providing a natural barrier against the street and inviting pedestrian traffic.

Sheet A-2.01: The project will incorporate common open spaces into the architectural design of the building and utilize these spaces to break up the massing and add visual interest to the interior and exterior of the building.

Sheet A-2.01: One double-loaded corridor provides access to all rooms on a given residential floor. It is designed such that the hall wraps around the common open spaces.

## 360 DEGREE DESIGN

**Guideline 4: Organize and shape projects to recognize and respect surrounding context.**

Sheet A-0.01: The project will include design elements reminiscent of the commercial and mixed-use properties to the south and east to serve as a transition point into residential zoning.

Sheet A-2.00: The westerly portion of the site will be primarily dedicated to parking to complement the parking offered by the adjacent commercial establishments.

Sheet A-1.00: The building footprint resembles those of the adjacent neighborhood. Long and rectangular buildings occupy a majority of the lot on which they lie.

**Guideline 5: Express a clear and coherent architectural idea.**

Sheet A-0.00: The project incorporates design elements that capture the essence of a modern and economical building design.

Sheet A-0.00, A-0.02: The rectangular footprint of the building is broken up from the second floor upward such that the lone hallway winds across the length of the building.

Sheet A-2.01, 2.02, 2.03: The rooms on each floor are a mix of residential living space and common area. This design choice facilitates social growth as a community develops within the apartment complex.

**Guideline 6: Provide amenities that support community building and provide an inviting, comfortable user experience.**

Sheet A-2.01-2.03: The project will incorporate a combination of lounges common areas, and open-to-sky courtyards that will facilitate community growth.

Sheet A-0.01: The building will feature a rooftop terrace on the northerly portion of the building that overlooks the surrounding single-family neighborhoods.

Sheet A-0.00, 0.01: The project will incorporate 65 parking spaces for residents and 20 parking spaces for guests to ensure that residents can invite ample guests for social gatherings.



**Guideline 7: Carefully arrange design elements and uses to protect site users.**

Sheet A-1.00: A block wall will be constructed along the southern property line to shield site users closest to the freeway.

Sheet A-0.01: The larger of the two open space courtyards will be positioned on the northern portion of the building, effectively using the massing of the building as a shield against the freeway.

Sheet A-2.00: The elevator will be located within the lobby at the main pedestrian entrance to the building as the majority of the first floor is dedicated to parking.

## CLIMATE-ADAPTED DESIGN

**Guideline 8: Protect the site's unique natural resources and features.**

Sheet A-1.00: The project aims to maximize existing permeable surfaces on the property while providing utility through parking.

Sheet A-1.00: The landscaping adjacent to the entrance of the site will be preserved to incorporate the existing tree into the design of this development.

**Guideline 9: Configure the site layout, building massing and orientation to lower energy demand and increase the comfort and well-being of users.**

Sheet A-2.0X: The building has been designed such natural light will be maximized during the day, allowing residents to save on energy costs.

Sheet A-2.00: Resident parking will be contained within the first floor to ensure residents of the security of their vehicles. A significant portion of the parking on the northern wall will be reserved for EV parking and charging.

Sheet A-2.0X: The building will incorporate an easy-access trash chute to residents on the western portion of the building. It will be located across the from the elevator to allow rapid access to the first floor.

Sheet A-2.0X: Two staircases will span the height of the building, from the first to sixth floor. Each staircase will be located on opposing ends of the building to ease the flow of foot traffic and allow a rapid means of egress in case of an emergency.

**Guideline 10: Enhance green features to increase opportunities to capture stormwater and promote habitat.**

Sheet A-1.00: The project will improve the landscaped area on the westerly portion of the property to include planted trees as well as bioswales.

Sheet A-2.00, 2.01: The project will use native, drought tolerant landscaping around the parking lot and open-to-sky courtyards.

Sheet A-2.00: The project will use pervious concrete for any paving that will occur beyond the building footprint as well as the landscaped areas.



## A 3D architectural rendering of a modern, multi-story residential building. The structure is composed of several interconnected volumes. The primary facade is white, punctuated by dark grey or black window frames and balcony railings. The building features a mix of window sizes, including large rectangular windows and smaller, square ones. Balconies are integrated into the design, some with dark railings. The roofline is varied, with different sections having different heights and flat roofs. The building is set against a clear blue sky, and a simple grey ground plane is visible at the base.

## PROJECT SUMMARY

PROJECT ADDRESS:	11516 S. VERMONT AVE., LOS ANGELES, CA 90044
A.P.N.:	6088-009-036
DESCRIPTION:	111 RESIDENTIAL APARTMENTS
LOT AREA:	41,543.8 SF (0.95 ACRE)
ZONING:	R-3 / R-1 (SPLIT LOT)
GENERAL PLAN USE:	MEDIUM DENSITY RESIDENTIAL
PROPOSED USE:	SIX STORY APARTMENT BUILDING
PROPOSED DENSITY:	111 UNITS (55 BASE X 100% BONUS)
FIRE PROTECTION:	NFPA TYPE 13

## SCHEDULES



## PROJECT NARRATIVE

**DENSITY CALCULATION:**

PROJECT IS BASING BASE DENSITY CALCULATION ON ALLOWED BASE DENSITY UNDER THE SITES GENERAL PLAN DESIGNATION OF MEDIUM DENSITY RESIDENTIAL. THIS ALLOWS FOR A BASE DENSITY OF 55 UNITS (ONE UNIT PER 800 SF OF SITE AREA AS PER AB 2334).

**DENSITY BONUS:**

PROJECT IS DESIGNED TO UTILIZE THE STATE DENSITY BONUS LAW, AB 1287, FOR A 50% INITIAL DENSITY BONUS (VIA VLI UNIT SET-ASIDE), AS WELL AS AN ADDITIONAL 50% BONUS (15% MI SET-ASIDE). THIS GIVES THE PROJECT A TOTAL OF 100% DENSITY BONUS OF PER THE BASE ALLOWED DENSITY OF 52 UNITS.

**PARKING REQUIREMENTS:**

AS THE PROJECT IS LOCATED LESS THAN 1/2 MILE FROM A MAJOR TRANSIT STOP (LA METRO GREEN LINE LIGHT RAIL STATION), THE PROJECT IS NOT REQUIRED TO PROVIDE ANY PARKING PER AB 2097. THE APPLICANT HAS CHOSEN TO PROVIDE SOME PARKING IN THE AVAILABLE SPACE ON THE SITE AS AN AMENITY DESPITE NOT BEING REQUIRED.

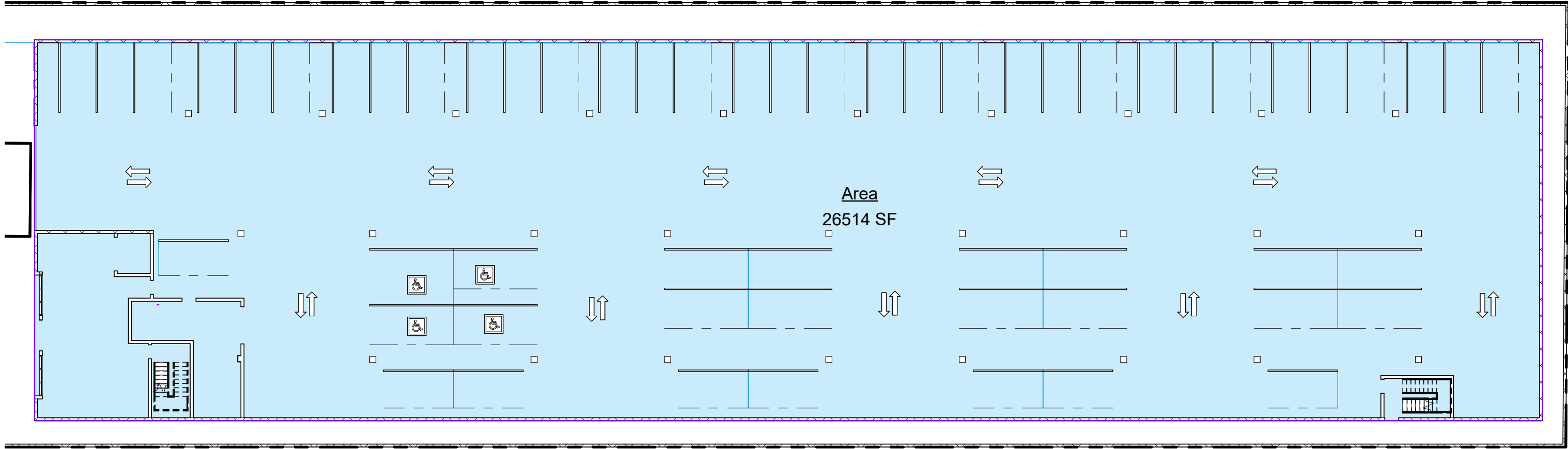
**WAIVERS:**

- **WAIVER OF OPEN SPACE**
  - TO ACCOMMODATE FOR THE PROPOSED AFFORDABLE DENSITY, WE REQUEST THE OPEN SPACE REQUIREMENT BE WAIVED
- **WAIVER OF 96' REAR SETBACK**
  - TO ACCOMMODATE FOR THE PROPOSED AFFORDABLE DENSITY, WE REQUEST THE REAR SETBACK REQUIREMENT BE CHANGED FROM 15 FEET TO 5 FEET
- **WAIVER OF 360' SIDE SETBACK**
  - TO ACCOMMODATE FOR THE PROPOSED AFFORDABLE DENSITY, WE REQUEST THE 360' SIDE SETBACK CHANGED TO 5 FEET
- **WAIVER OF 485' SIDE SETBACK**
  - TO ACCOMMODATE FOR THE PROPOSED AFFORDABLE DENSITY, WE REQUEST THE 485' SETBACK CHANGED TO 5 FEET
- **WAIVER OF 75' (ALLEY) SIDE SETBACK**
  - TO ACCOMMODATE FOR THE PROPOSED AFFORDABLE DENSITY, WE REQUEST THE 75' (ALLEY) SETBACK CHANGED TO 1 FOOT
- **WAIVER OF ENCROACHMENT PLANE**
  - TO ACCOMMODATE FOR THE PROPOSED AFFORDABLE DENSITY, WE REQUEST THE ENCROACHMENT PLANE REQUIREMENT BE WAIVED
- **WAIVER OF BUILDING HEIGHT**
  - TO ACCOMMODATE FOR THE PROPOSED AFFORDABLE DENSITY, WE REQUEST THE HEIGHT REQUIREMENT BE INCREASED FROM 28' TO 60'
- **WAIVER OF SHORT TERM BIKE PARKING**
  - TO ACCOMMODATE FOR THE PROPOSED AFFORDABLE DENSITY, WE REQUEST THE REQUIREMENT FOR SHORT TERM BIKE PARKING BE 0 SPACES (0%)
- **WAIVER OF LONG TERM BIKE PARKING**
  - TO ACCOMMODATE FOR THE PROPOSED AFFORDABLE DENSITY, WE REQUEST THE REQUIREMENT FOR LONG TERM BIKE PARKING BE 0 SPACES (0%)
- **WAIVER OF R.F.A.**
  - TO ACCOMMODATE FOR THE PROPOSED AFFORDABLE DENSITY, WE REQUEST THE R.F.A REQUIREMENT TO BE WAIVED.
- **WAIVER OF TREE PLANTING**
  - TO ACCOMMODATE FOR THE PROPOSED AFFORDABLE DENSITY, WE REQUEST THE AMOUNT OF REQUIRED TREES BE REDUCED.
- **WAIVER OF SIDE YARD OFFSET/PLANE BREAK**
  - TO ACCOMMODATE FOR THE PROPOSED AFFORDABLE DENSITY, WE REQUEST THE PLANE BREAK REQUIREMENT BE WAIVED.

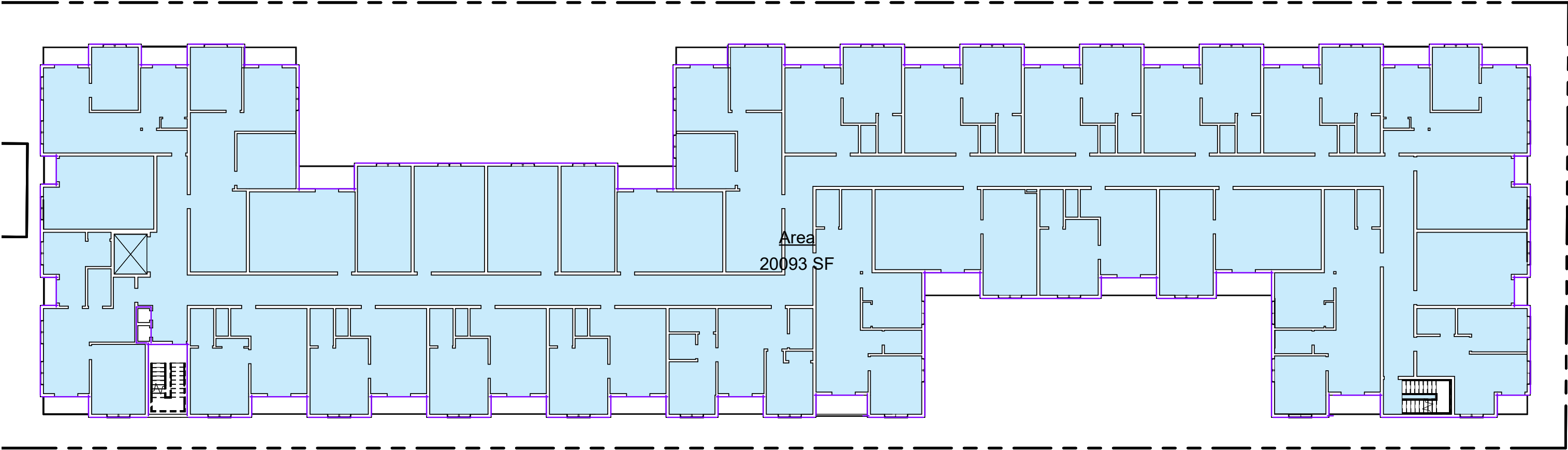
3/4/2025 9:36:19 AM



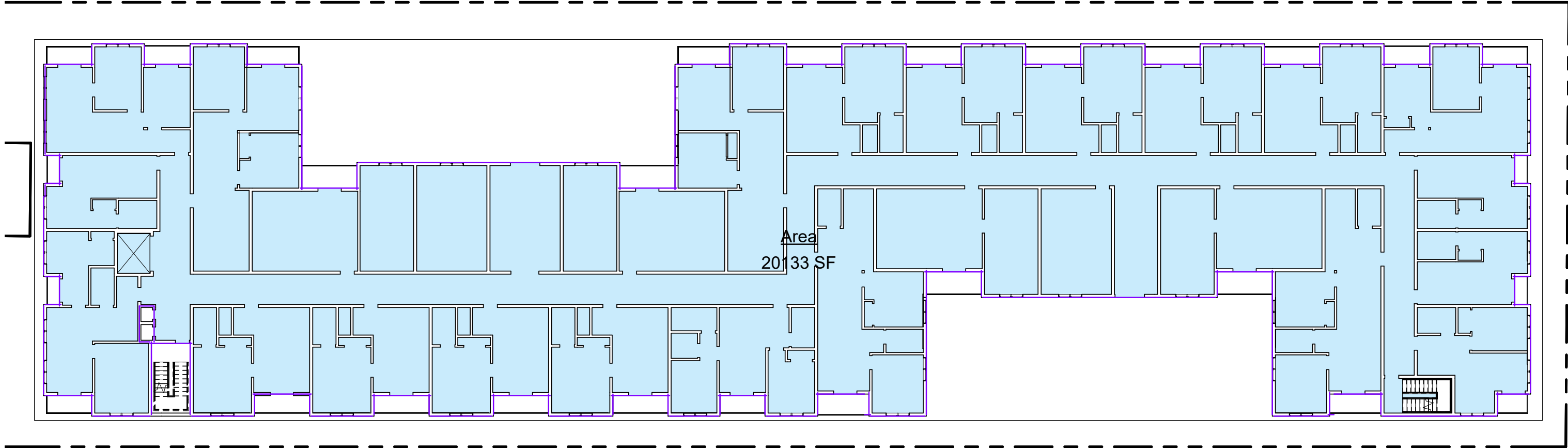
BUILDING AREA DIAGRAMS



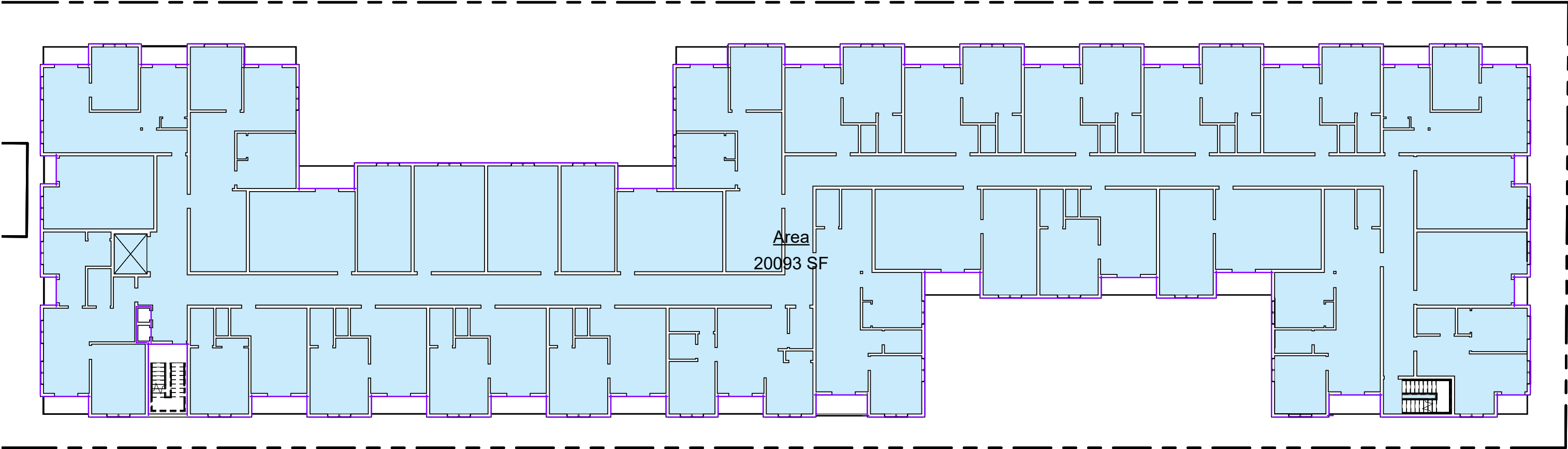
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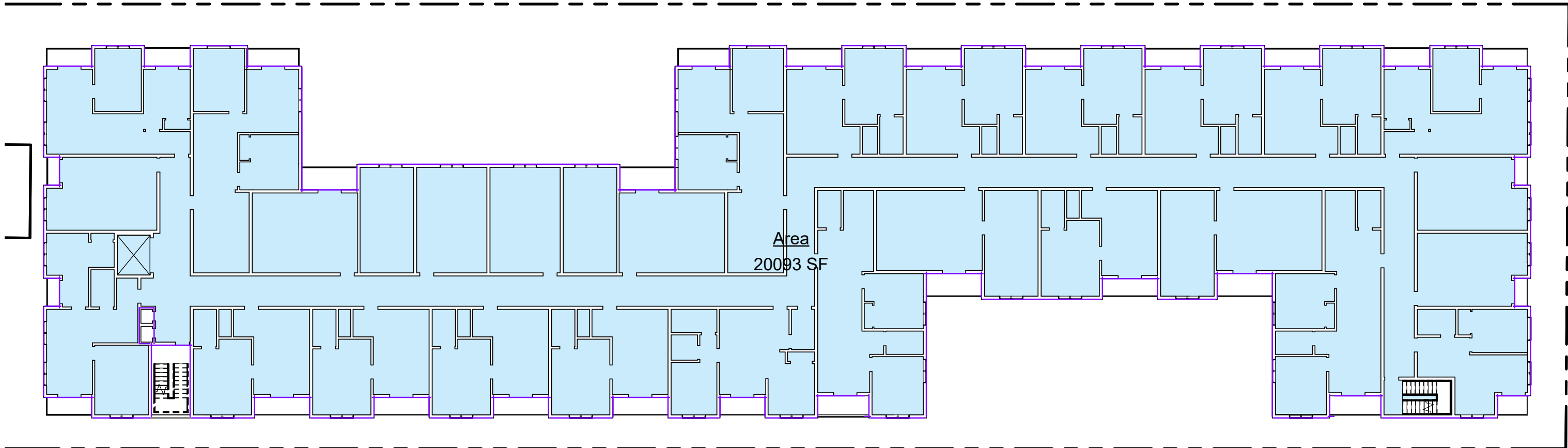
4 Level 4  
3/64" = 1'-0"



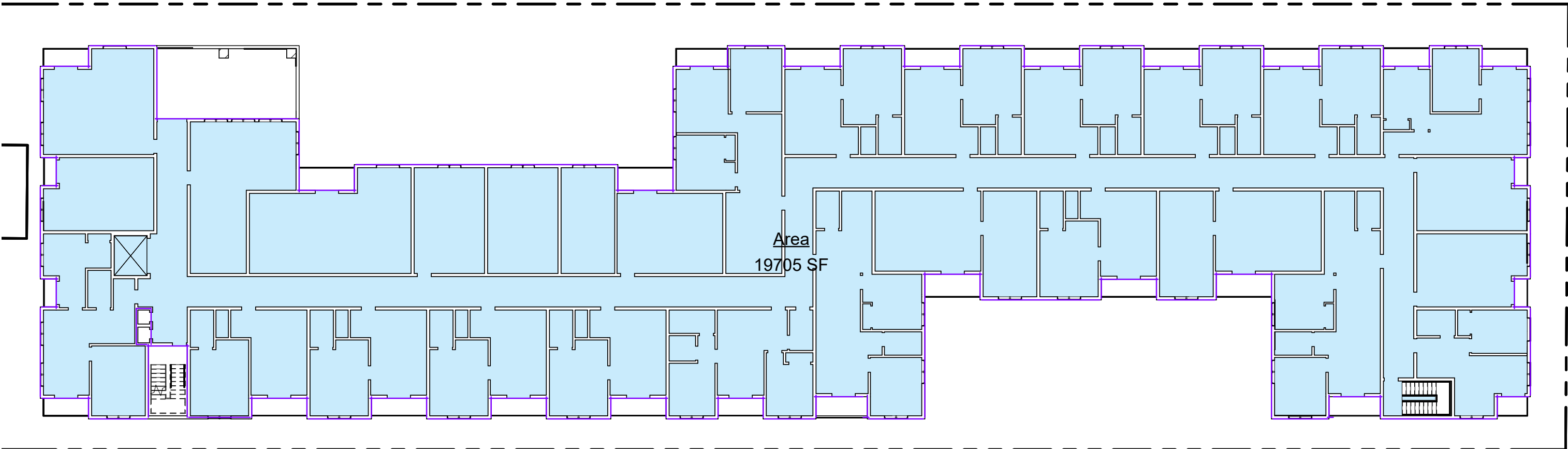
2 Level 2  
3/64" = 1'-0"



5 Level 5  
3/64" = 1'-0"



3 Level 3  
3/64" = 1'-0"



6 Level 6  
3/64" = 1'-0"

BUILDING AREA CALCULATIONS	
Level	Area
Level 1	26514 SF
Level 2	20133 SF
Level 3	20093 SF
Level 4	20093 SF
Level 5	20093 SF
Level 6	19705 SF
Grand total	126630 SF



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Vermont Apartments

PROJECT TITLE

CONTACT

OWNER/ SUBDIVIDER

ENGINEER

SEAL & SIGNATURE

PROJECT ADDRESS

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NO.	DATE
Project Number	Issue Date
DRAWN BY	CHECKED BY
Author	Checker

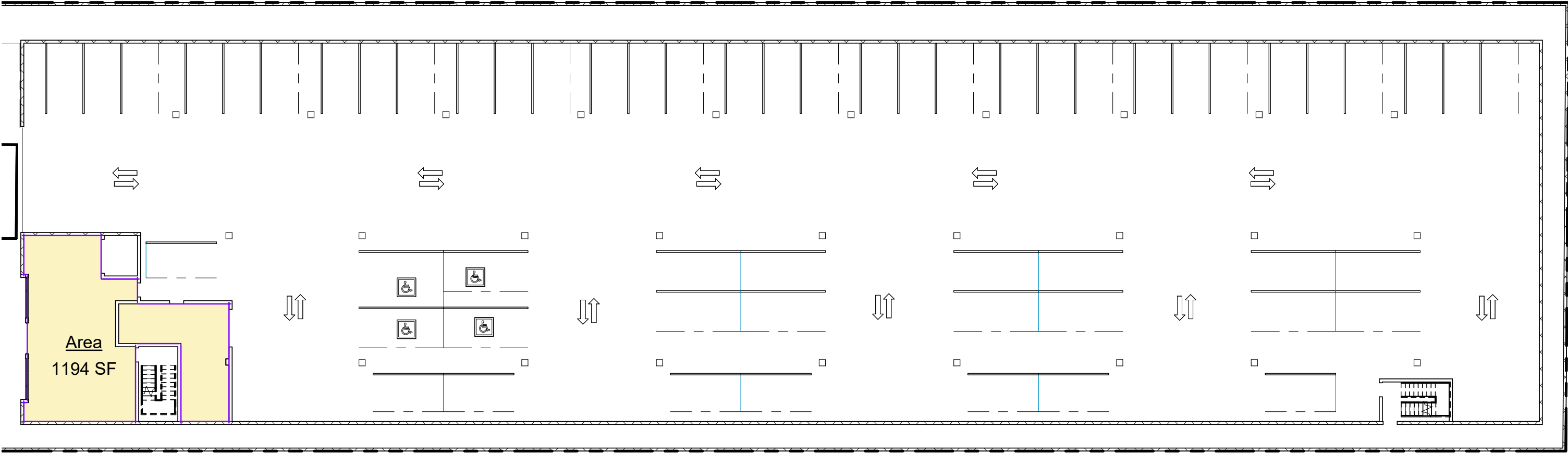
SCALE 3/64" = 1'-0"

TITLE  
**Building  
Area  
Diagrams**

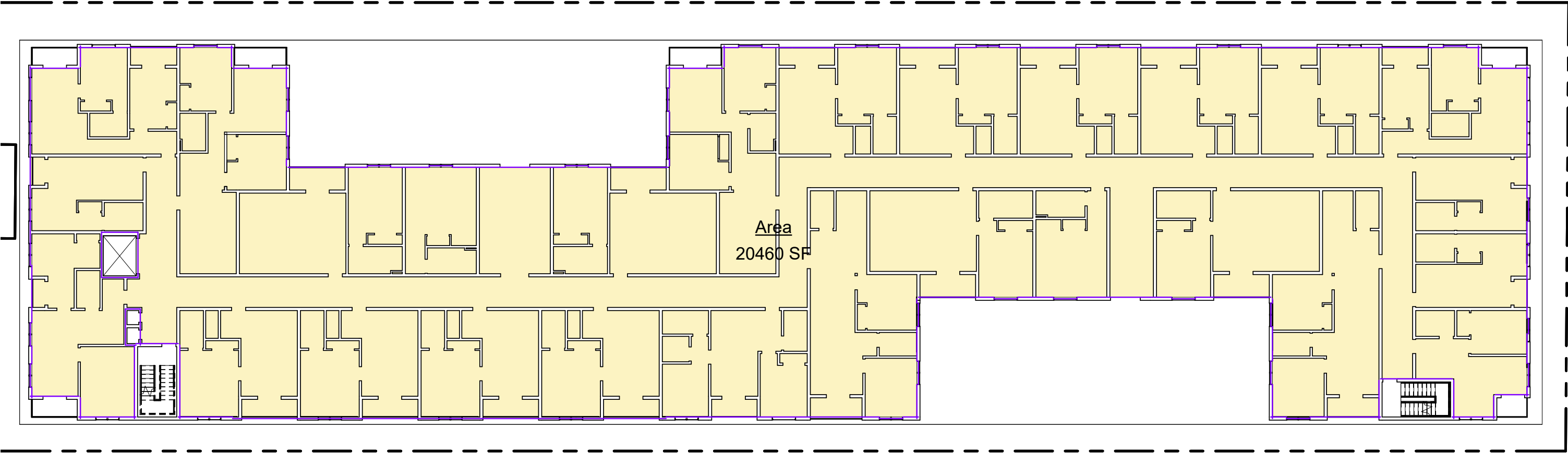
SHEET NO.

**A-0.01**

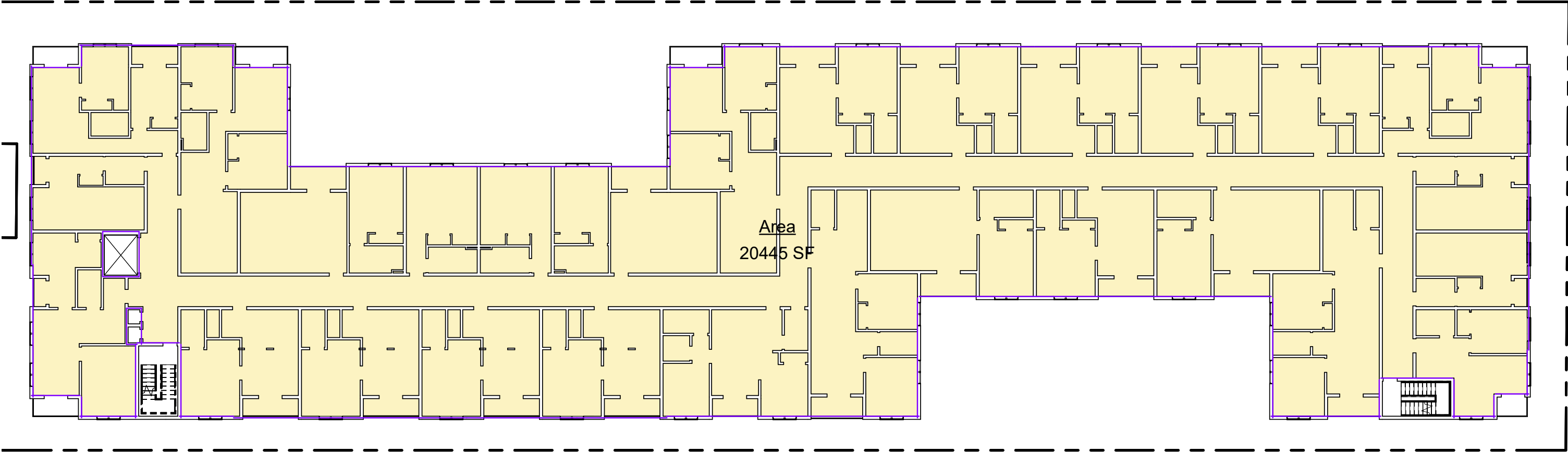
FLOOR AREA DIAGRAMS



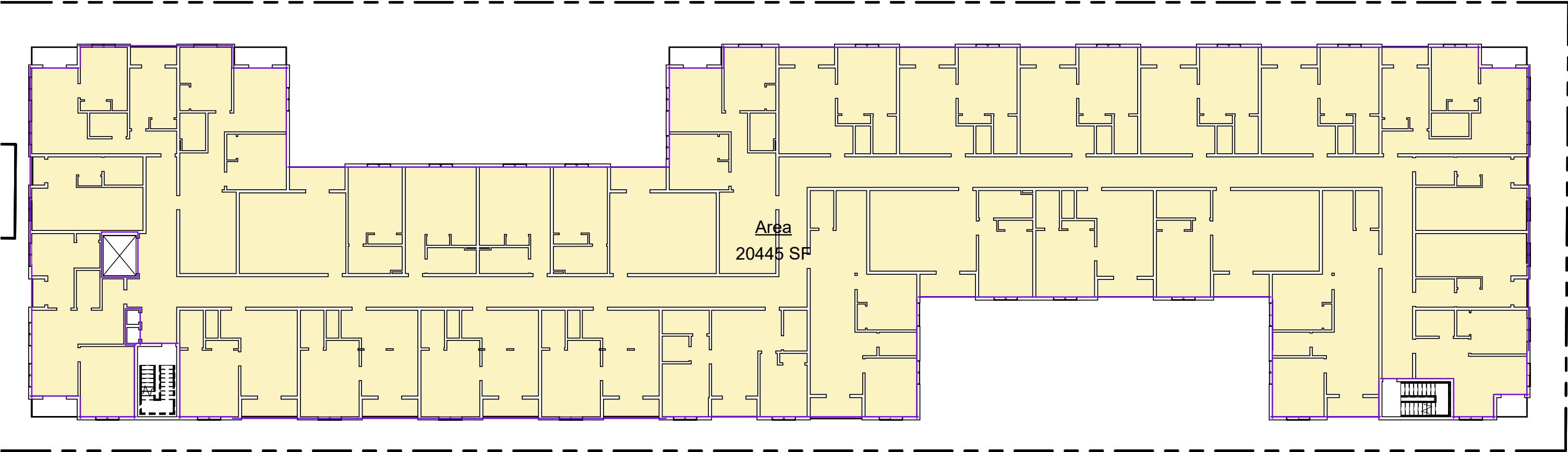
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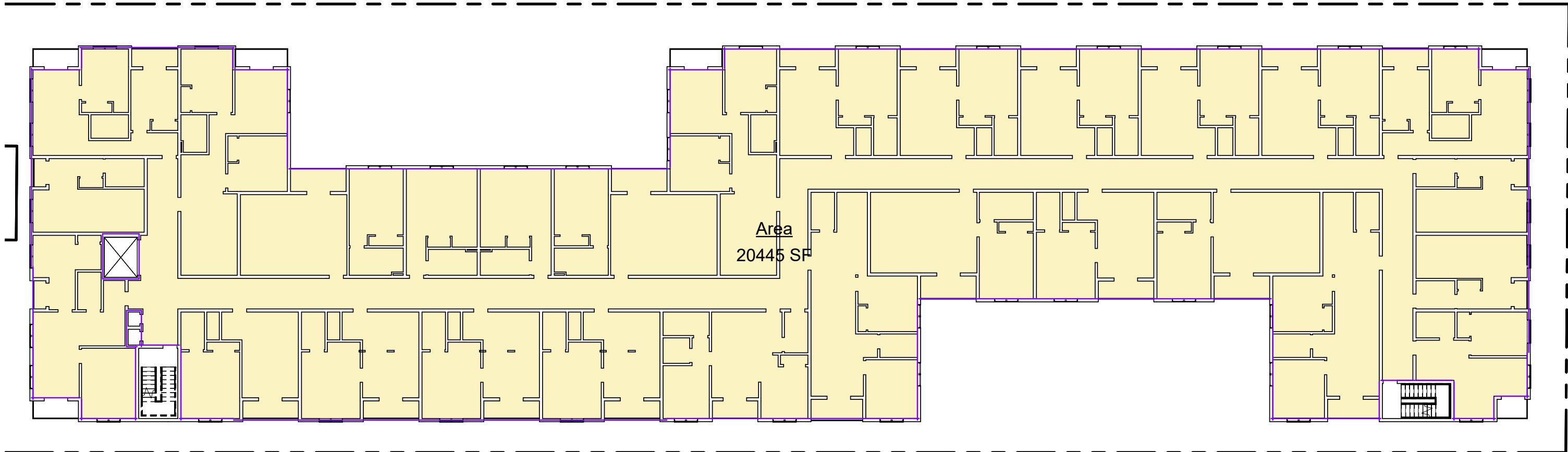
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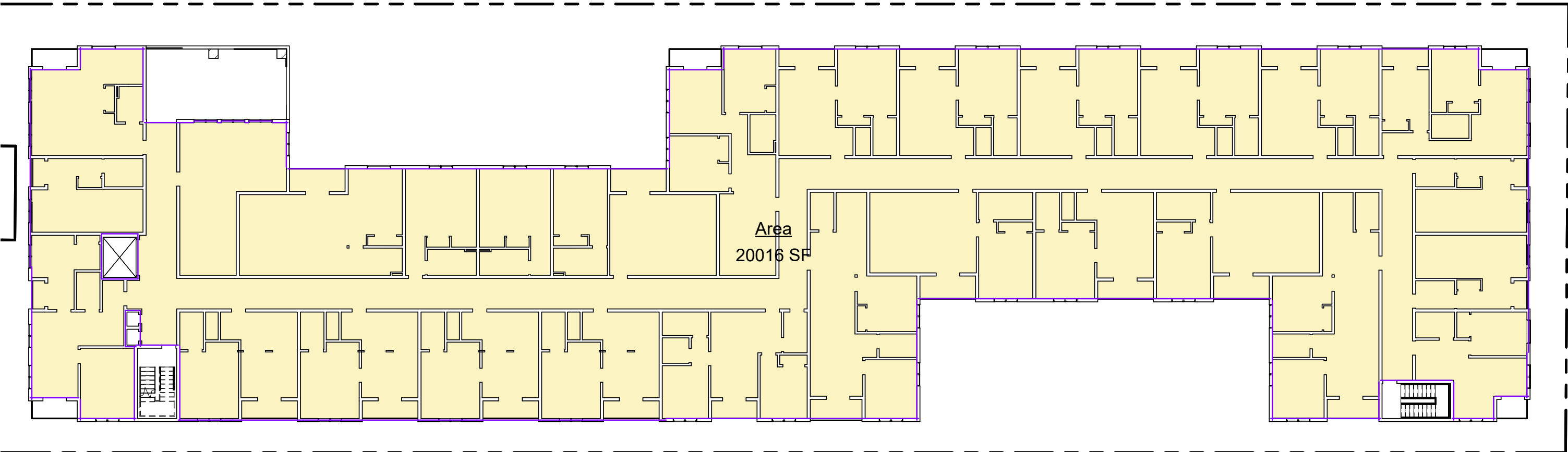
③ Level 3  
3/64" = 1'-0"



④ Level 4  
3/64" = 1'-0"



⑤ Level 5  
3/64" = 1'-0"



⑥ Level 6  
3/64" = 1'-0"

FLOOR AREA CALCULATIONS	
Level	Area
Level 1	1194 SF
Level 2	20460 SF
Level 3	20445 SF
Level 4	20445 SF
Level 5	20445 SF
Level 6	20016 SF
Grand total	103005 SF

\*FLOOR AREA DIAGRAMS ARE USED FOR ZONING PER LAMC\*



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PROJECT TITLE

CONTACT

OWNER/ SUBDIVIDER

ENGINEER

SEAL & SIGNATURE

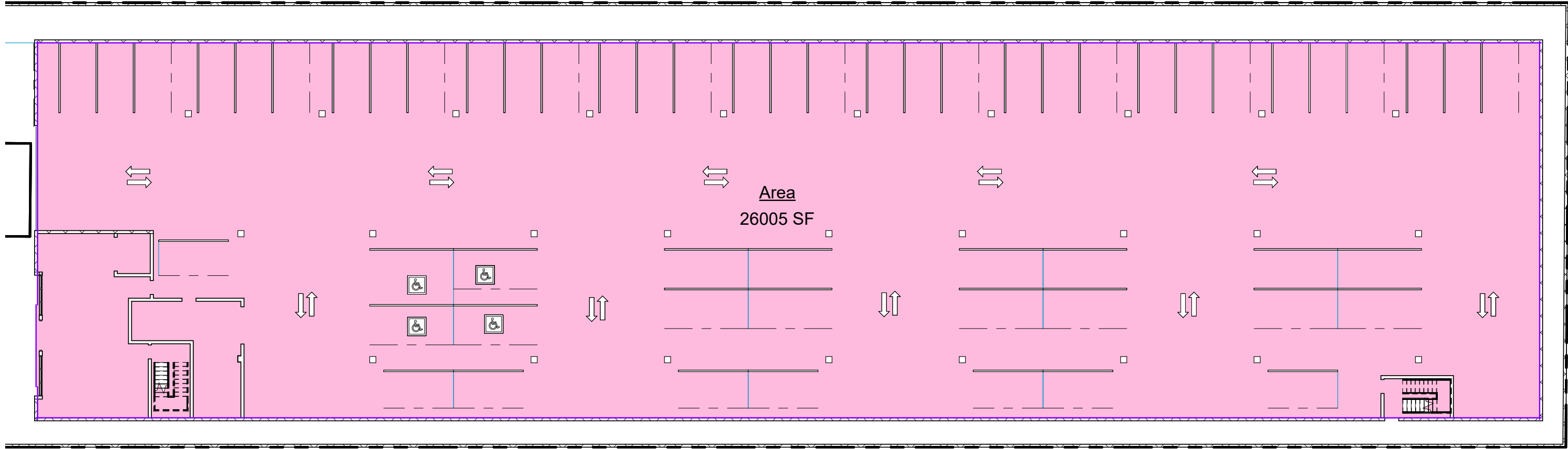
PROJECT ADDRESS

REVISIONS		
NO.	DESCRIPTION	DATE

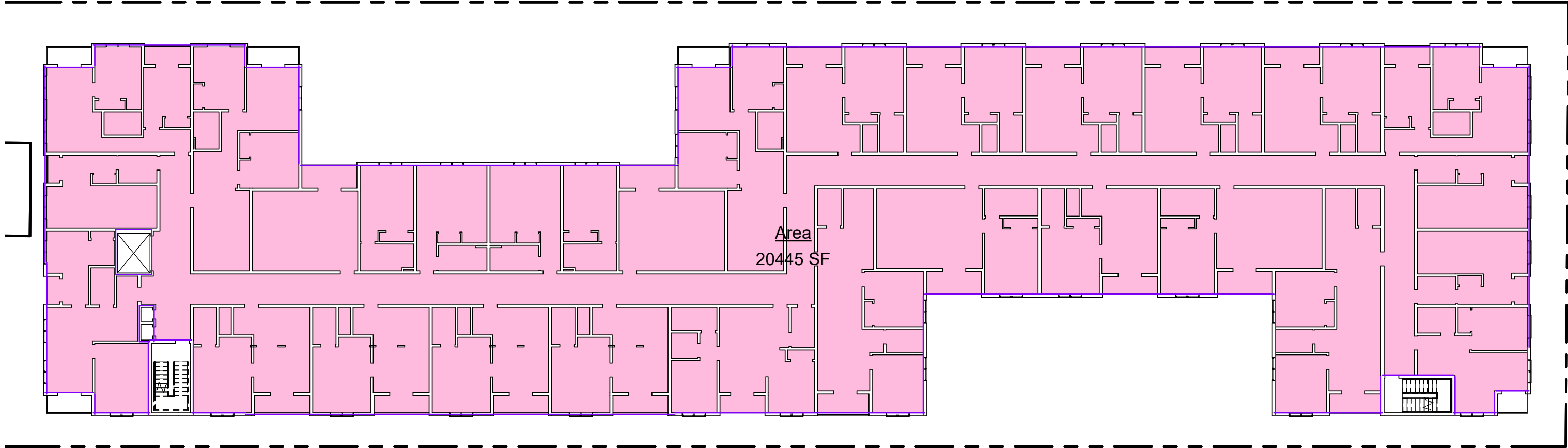
PROJECT NO.	DATE
Project Number	Issue Date
DRAWN BY	CHECKED BY
Author	Checker

SCALE	3/64" = 1'-0"
TITLE	FLOOR AREA DIAGRAMS (ZONING PER LAMC)
SHEET NO.	A-0.02

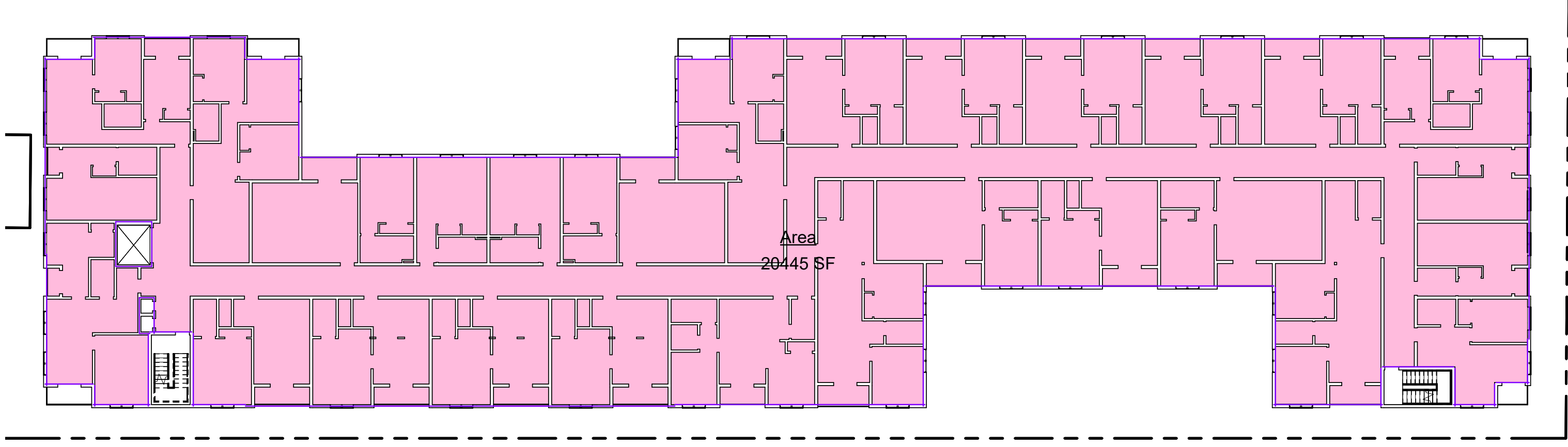
RESIDENTIAL FLOOR AREA DIAGRAMS



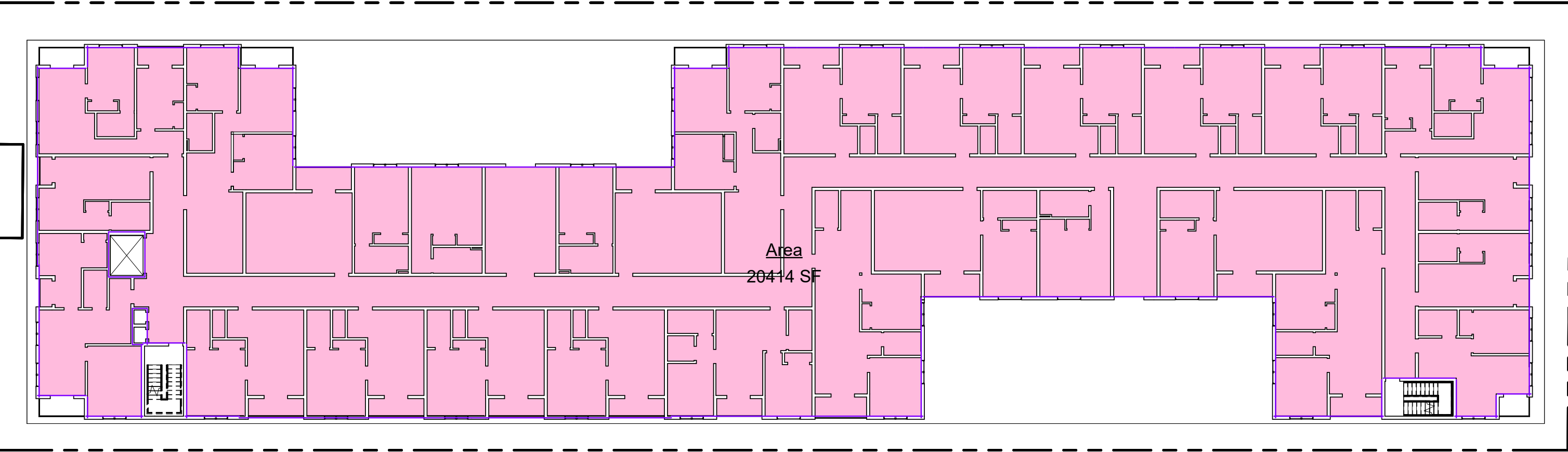
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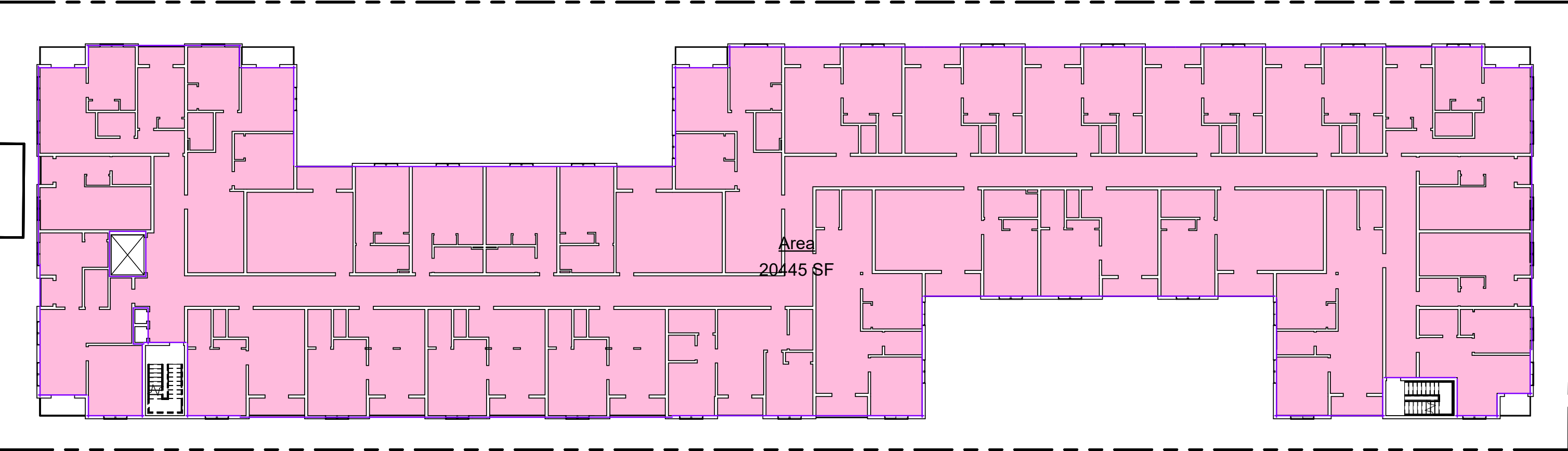
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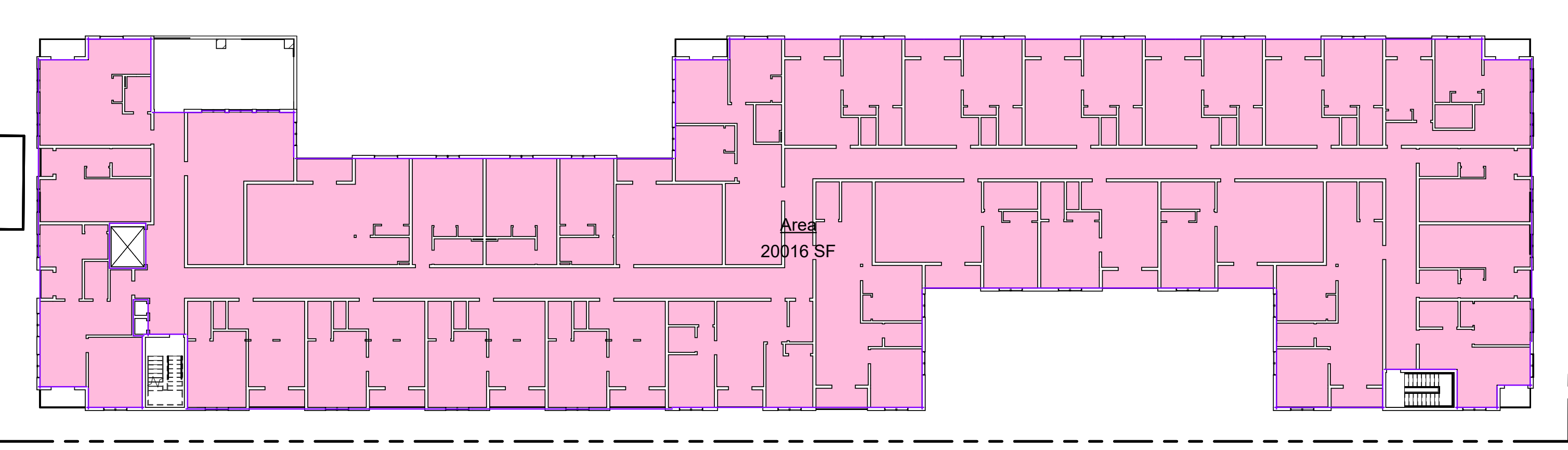
⑤ Level 5  
3/64" = 1'-0"



② Level 2  
3/64" = 1'-0"



④ Level 4  
3/64" = 1'-0"



⑥ Level 6  
3/64" = 1'-0"

RFA CALCULATIONS	
Level	Area
Level 1	26005 SF
Level 2	20414 SF
Level 3	20445 SF
Level 4	20445 SF
Level 5	20445 SF
Level 6	20016 SF
Grand total	127771 SF

Vermont Apartments

PROJECT TITLE

CONTACT

OWNER/ SUBDIVIDER

ENGINEER

SEAL & SIGNATURE

PROJECT ADDRESS

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NO.	DATE
Project Number	Issue Date
DRAWN BY	CHECKED BY
Author	Checker

SCALE 3/64" = 1'-0"

TITLE

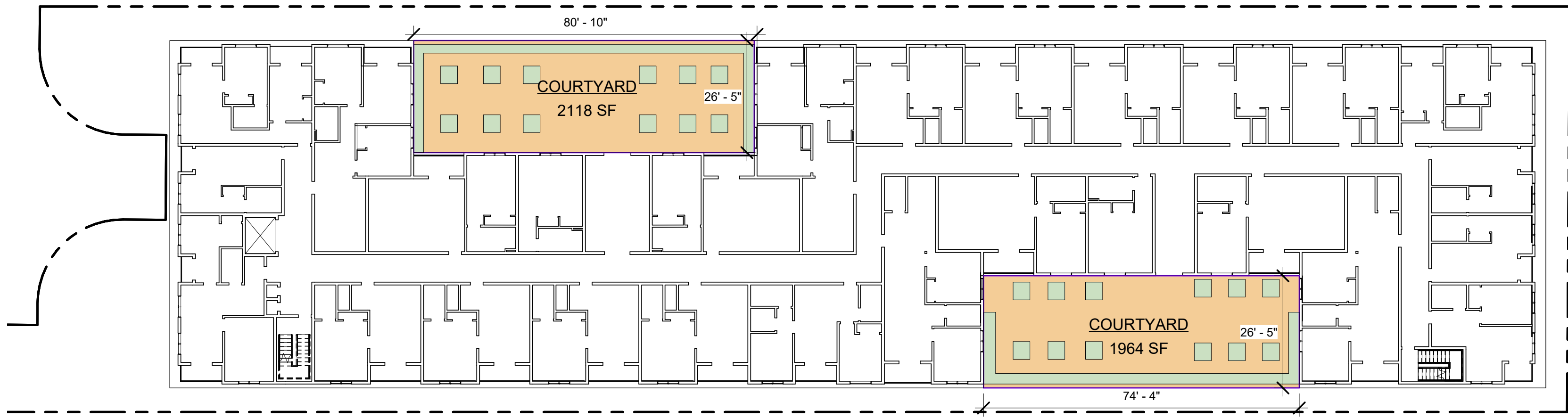
R.F.A. DIAGRAMS

SHEET NO.

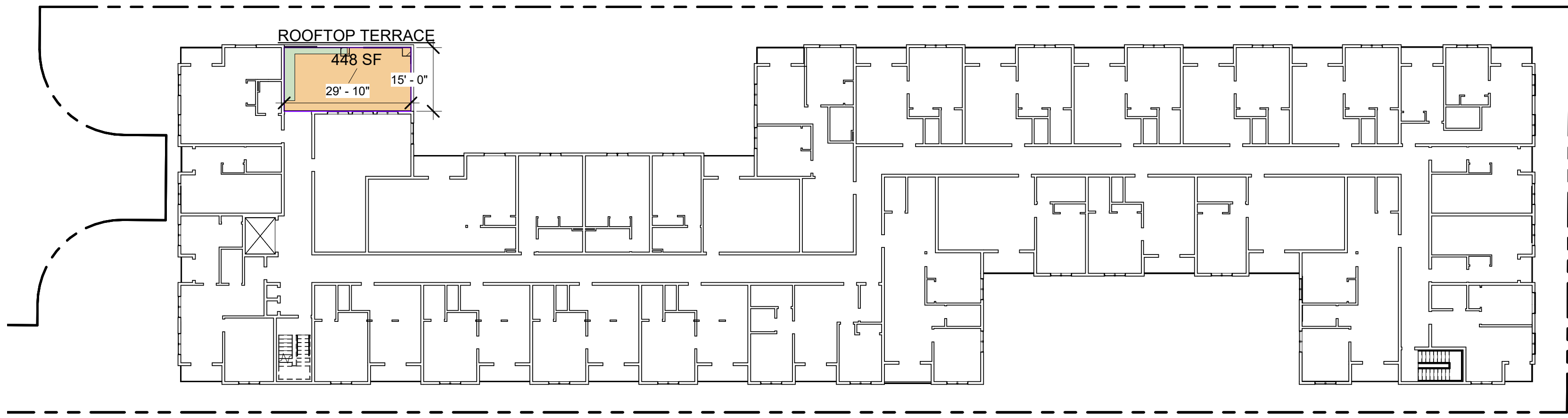
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OPEN SPACE DIAGRAM

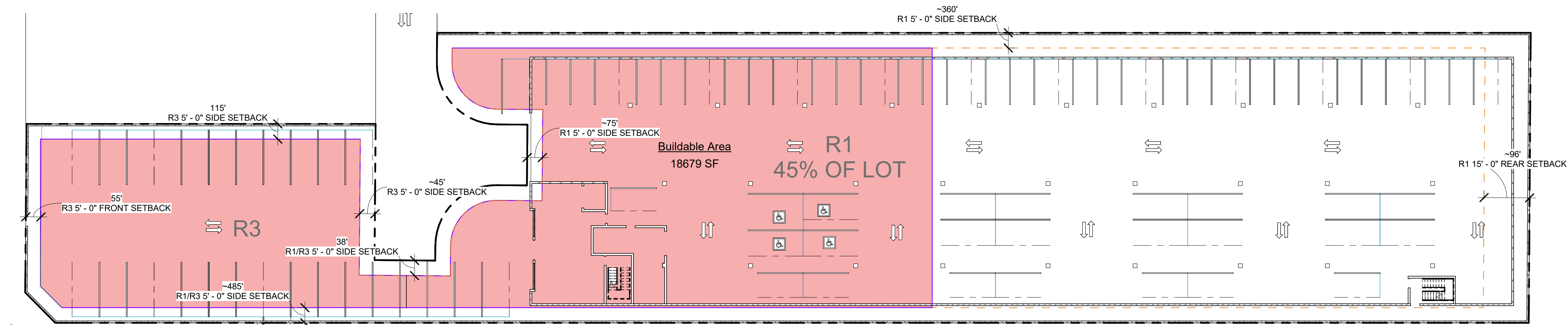


② Level 2  
3/64" = 1'-0"



③ Level 6  
3/64" = 1'-0"

BUILDABLE AREA DIAGRAM



① Level 1  
3/64" = 1'-0"

OPEN SPACE CALCULATIONS		
Name	Level	Area

Level 2

COURTYARD	Level 2	2117.7 SF
COURTYARD	Level 2	1963.6 SF

Level 6

ROOFTOP TERRACE	Level 6	447.5 SF
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Grand total: 3 4528.8 SF



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PROJECT TITLE

CONTACT

OWNER/ SUBDIVIDER

ENGINEER

SEAL & SIGNATURE

PROJECT ADDRESS

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NO.	DATE
Project Number	Issue Date
DRAWN BY	CHECKED BY
Author	Checker

SCALE 3/64" = 1'-0"

TITLE

Building  
Diagrams

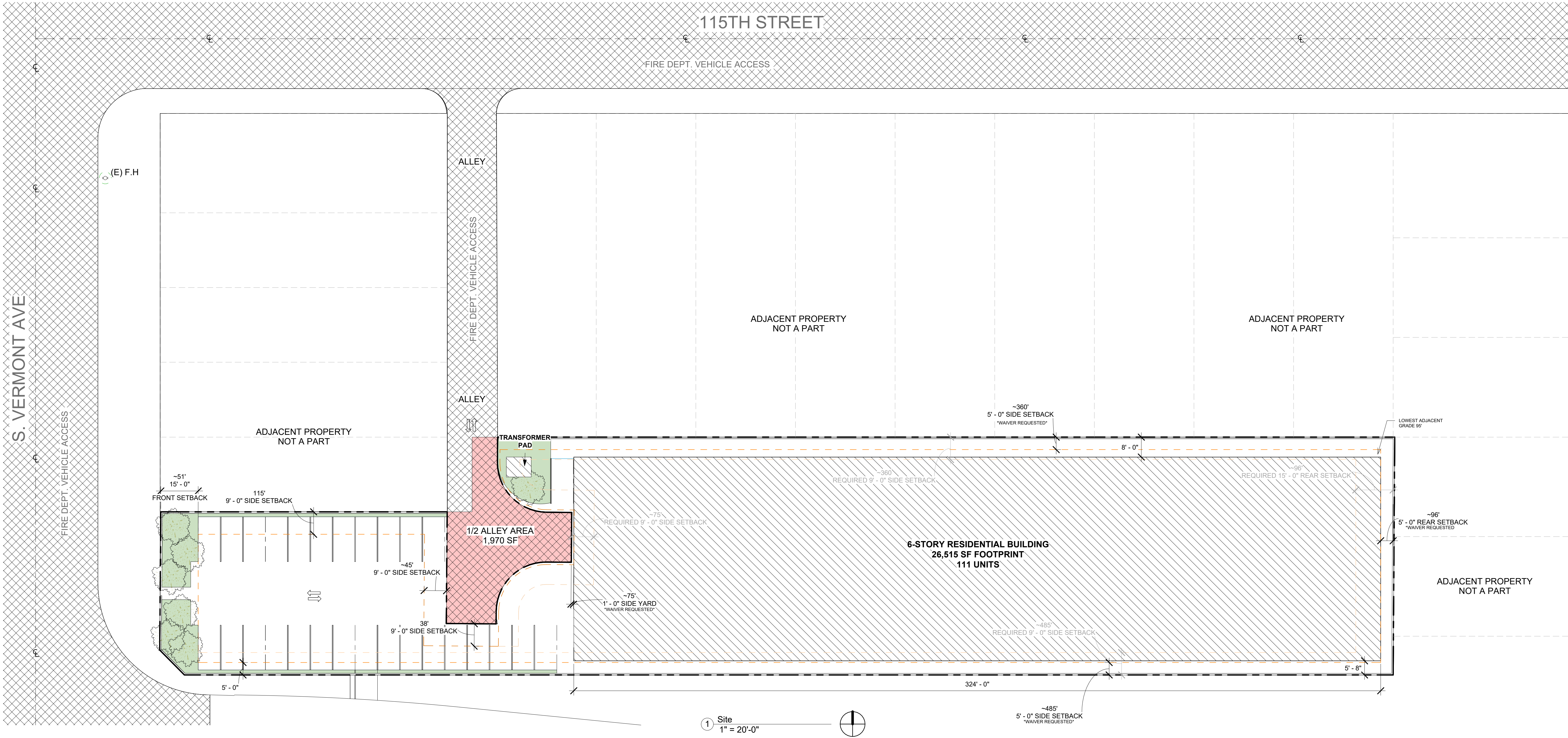
SHEET NO.

A-0.04

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PROJECT DATA:

PROJECT ADDRESS:	11516 S. VERMONT AVE., LOS ANGELES, CA 90044
A.P.N.:	6088-009-036
AREA:	
GROSS LOT AREA:	41,543.8 SF (0.95 ACRE)
NET LOT AREA:	37,146.4 SF (0.85 ACRE)
COVERED AREA:	26,515 SF
ZONING:	R-3/R-1 (SPLIT ZONED)
GENERAL PLAN USE:	MEDIUM DENSITY RESIDENTIAL
DENSITY:	
BASE:	55 UNITS (1 UNIT/800 SF PER GENERAL PLAN + 1/2 ALLEY AREA) (AS PER 2334)
BONUS:	56 UNITS (55 BASE X 100% BONUS)
TOTAL:	111 UNITS
LOT COVERAGE:	
BUILDING:	64.3%
PAVING:	32.5%
PERMEABLE HARDSCAPE:	0%
LANDSCAPING:	3.2%
FIRE PROTECTION:	NFPA TYPE 13
PROPOSED USE:	
RESIDENTIAL:	78,536 SF (67,895 DWELLING UNIT SF + 10,641 COMMON AREA SF)

PROJECT DATA CONT.:

SETBACKS:	
REQUIRED:	
R-3	
FRONT:	15'
SIDE:	5', 9' FOR STORIES ABOVE 2ND STORY
REAR:	5'
R-1	
FRONT:	20'
SIDE:	5', 9' FOR STORIES ABOVE 2ND STORY
REAR:	15'
PROPOSED:	
R-3	
FRONT:	15'
SIDE:	5' *WAIVER REQUESTED (SEE TITLE SHEET FOR LIST)
REAR:	5'
R-1	
FRONT:	20'
SIDE:	5' *WAIVER REQUESTED (SEE TITLE SHEET FOR LIST)
REAR:	5' *WAIVER REQUESTED
HEIGHT	
R-1 ZONE:	28'
PROPOSED:	63' *WAIVER REQUESTED
PARKING:	
REQUIRED:	NONE (ADJACENT TO TRANSIT)
PROVIDED:	65 RESIDENTIAL SPACES + 20 GUEST SPACES = 85 PARKING SPACES

Vermont Apartments

PROJECT TITLE

CONTACT

OWNER/ SUBDIVIDER

ENGINEER

SEAL & SIGNATURE

PROJECT ADDRESS

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT NO.	DATE
Project Number	Issue Date
DRAWN BY	CHECKED BY
Author	Checker

SCALE 1" = 20'-0"

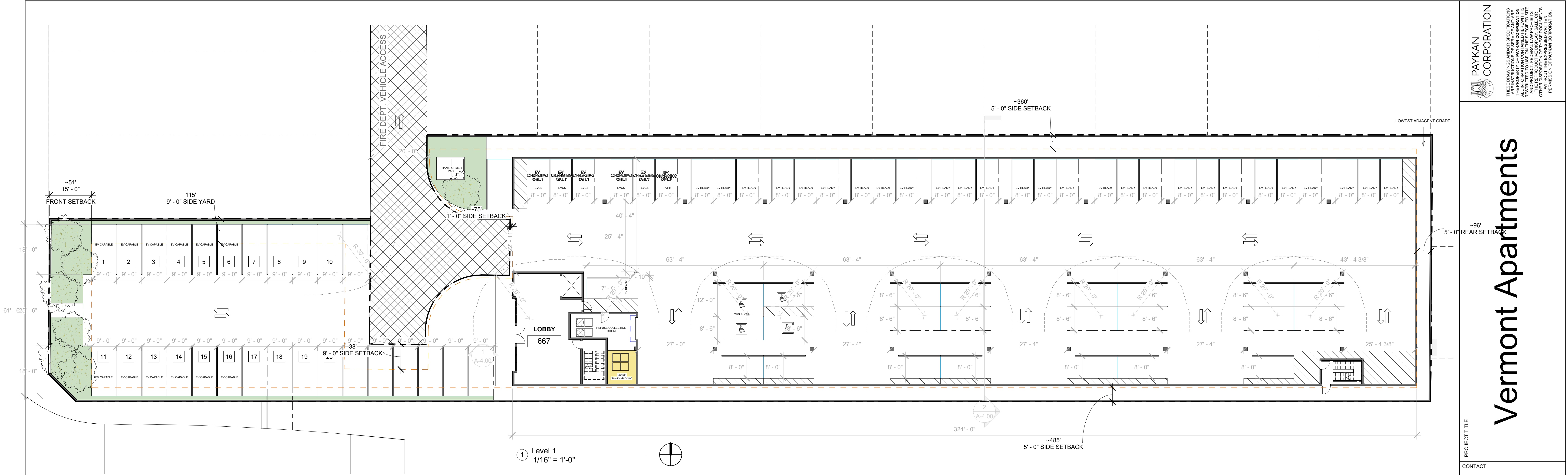
TITLE

Site Plan

SHEET NO.

A-1.00





## RECYCLING NOTES:

1.TO ENCOURAGE ACTIVE PARTICIPATION IN RECYCLING TO THE MAXIMUM EXTENT POSSIBLE, EACH PROPERTY OWNER, MANAGER, OR LESSEE SHALL INFORM ALL TENANTS AND/OR EMPLOYEES LIVING OR WORKING ON THE PROPERTY OF THE AVAILABILITY AND LOCATION OF THE RECYCLING AREA(S) OR ROOM(S), THE TYPES OF MATERIALS THAT ARE COLLECTED FOR RECYCLING, THAT THE RECYCLING COLLECTION FACILITIES ARE LOCATED ON THE PROPERTY PURSUANT TO STATE LAW REQUIRING THE DIVERSION OF A SUBSTANTIAL PORTION OF SOLID WASTE;

2.EACH PROPERTY OWNER OR LESSEE SHALL CONTRACT WITH A RECYCLER OR HAULER FOR THE PICK-UP OF RECYCLABLE MATERIALS, SEPARATE FROM TRASH COLLECTION, WHEN RECEPTACLES ARE FULL OR EVERY WEEK, WHICHEVER OCCURS FIRST;

3.NO TOXIC OR HAZARDOUS MATERIAL SHALL BE STORED IN RECYCLING AREAS OR ROOMS RECYCLING OR RECEPTACLES;

4.ALL RECYCLABLE MATERIALS SHALL BE PLACED OR STORED IN RECYCLING RECEPTACLES. PAPER PRODUCTS AND OTHER LIGHTWEIGHT MATERIALS SHALL BE IMMEDIATELY PLACED INTO COVERED RECYCLING RECEPTACLES WHEN THEY ARE DROPPED OFF;

5.ON A DAILY BASIS THE RECYCLING AREA OR ROOM SHALL BE KEPT FREE OF LITTER, DEBRIS, SPILLAGE, BUGS, RODENTS, ODORS, AND OTHER SIMILAR UNDESIRABLE HAZARDS;

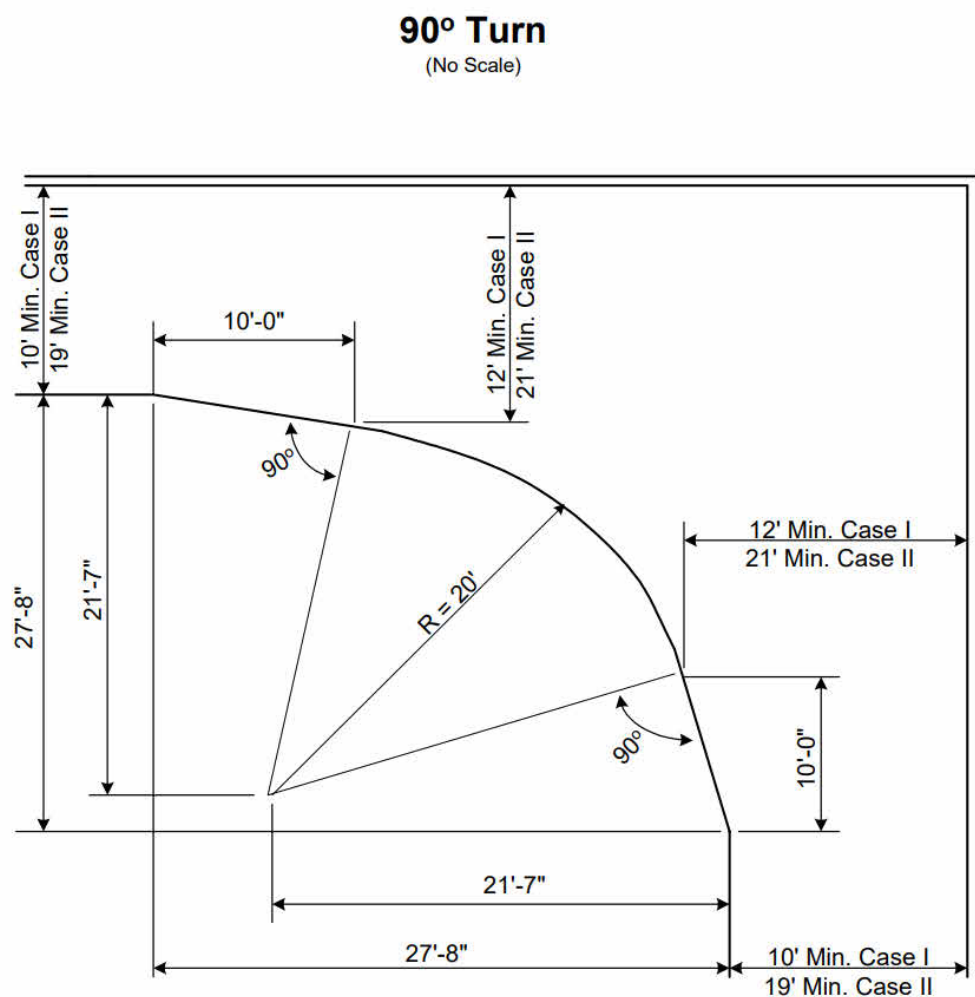
6.THE RECYCLING AREA OR ROOM SHALL BE CLEARLY IDENTIFIED BY ONE OR MORE SIGNS DESIGNATING IT FOR RECYCLING COLLECTION AND LOADING;

7.THE RECYCLING AREA OR ROOM SHALL BE AVAILABLE FOR USE BY PERSONS RESIDING OR EMPLOYED ON THE PROPERTY, BUT SHALL BE KEPT SECURED FROM UNAUTHORIZED ENTRY BY THE GENERAL PUBLIC;

8.RECYCLING AREAS OR ROOMS SHALL NOT DIMINISH THE REQUIRED NUMBER OF PARKING SPACES OR IMPAIR TRAFFIC FLOW;

9.RECYCLING AREAS OR ROOMS SHALL BE PLACED ALONGSIDE OF TRASH AREAS OR ROOMS WHEREVER POSSIBLE AND SHALL COMPLY WITH THE FOLLOWING: (AMENDED BY ORD. NO. 181.227, EFF. 9/1/10.)

-RECYCLING ROOMS SHALL COMPLY WITH SECTION 91.6102 OF THIS CODE AND MUST BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM PURSUANT TO SECTION 57.304.2.2 OF THIS CODE.



Case I - One-way traffic or two-way traffic where no more than 25 cars go around the turn.

Case II - Two-way traffic and more than 25 cars go around the turn.



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PROJECT TITLE

CONTACT

OWNER/ SUBDIVIDER

ENGINEER

SEAL & SIGNATURE

PROJECT ADDRESS

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT NO.	DATE
Project Number	Issue Date
DRAWN BY	CHECKED BY
Author	Checker

SCALE 1/16" = 1'-0"

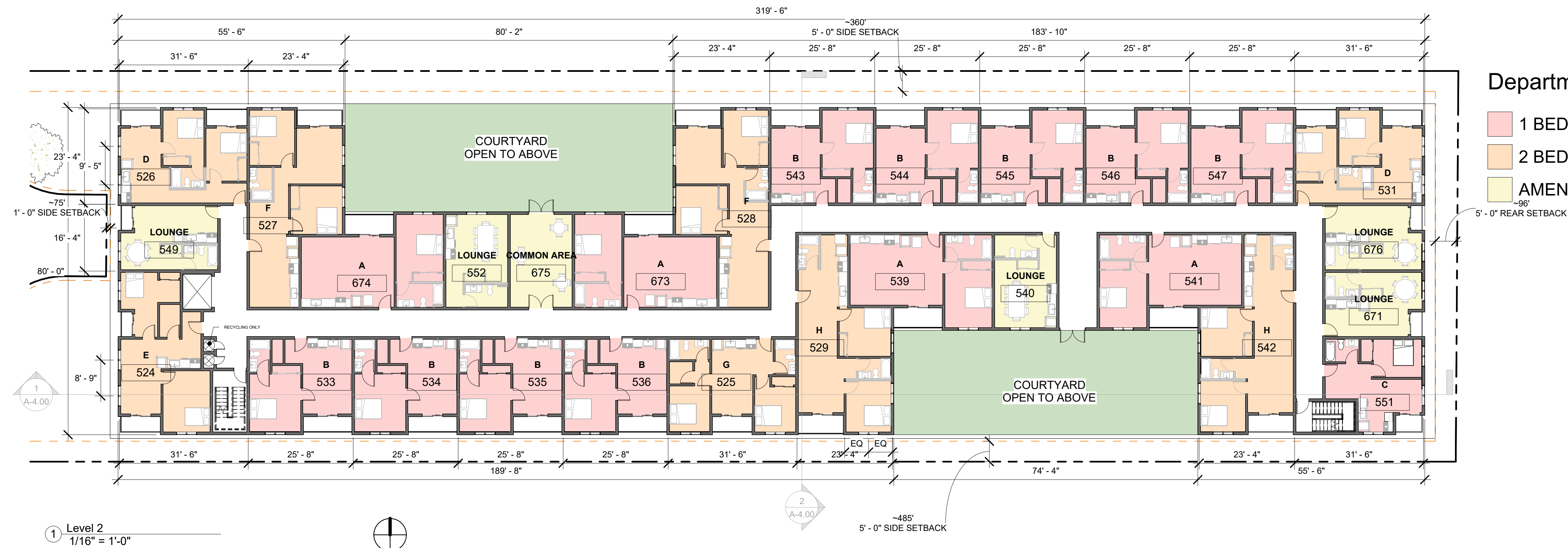
TITLE

1st Floor Plan

SHEET NO.

A-2.00

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Vermont Apartments

PROJECT TITLE

CONTACT

OWNER/ SUBDIVIDER

ENGINEER

SEAL & SIGNATURE

PROJECT ADDRESS

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT NO.	DATE
Project Number	Issue Date
DRAWN BY	CHECKED BY
Author	Checker

SCALE 1/16" = 1'-0"

TITLE

Floors 4 + 5

SHEET NO.

A-2.02

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Department Legend

- 1 BEDROOM
- 2 BEDROOM
- AMENITY

Room Schedule L4				
Name	Unit Type	Count	Unit Area	Level
A	1 BEDROOM	4	658 SF	Level 4
B	1 BEDROOM	10	511 SF	Level 4
C	1 BEDROOM	1	435 SF	Level 4
D	2 BEDROOM	2	607 SF	Level 4
E	2 BEDROOM	1	671 SF	Level 4
F	2 BEDROOM	2	847 SF	Level 4
G	2 BEDROOM	1	650 SF	Level 4
H	2 BEDROOM	2	846 SF	Level 4
LOUNGE	AMENITY	5	<varies>	Level 4

DWELLING UNIT COUNT: 23



Room Schedule L5				
Name	Unit Type	Count	Unit Area	Level
A	1 BEDROOM	4	658 SF	Level 5
B	1 BEDROOM	10	511 SF	Level 5
C	1 BEDROOM	1	435 SF	Level 5
D	2 BEDROOM	2	607 SF	Level 5
E	2 BEDROOM	1	671 SF	Level 5
F	2 BEDROOM	2	847 SF	Level 5
G	2 BEDROOM	1	650 SF	Level 5
H	2 BEDROOM	2	846 SF	Level 5
LOUNGE	AMENITY	5	<varies>	Level 5

DWELLING UNIT COUNT: 23



# Vermont Apartments

PROJECT TITLE F

CONTACT

OWNER/ SUBDIVIDER	
-------------------	--

ENGINEER

SEAL &amp; SIGNATURE

PROJECT ADDRESS

[illegible]

PROJECT NO. Project Number	DATE Issue Date
DRAWN BY Author	CHECKED BY Checker

SCALE  $1/16" = 1'-0"$

TITLE	
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## Level 6 + Roof Plan

SHEET NO.

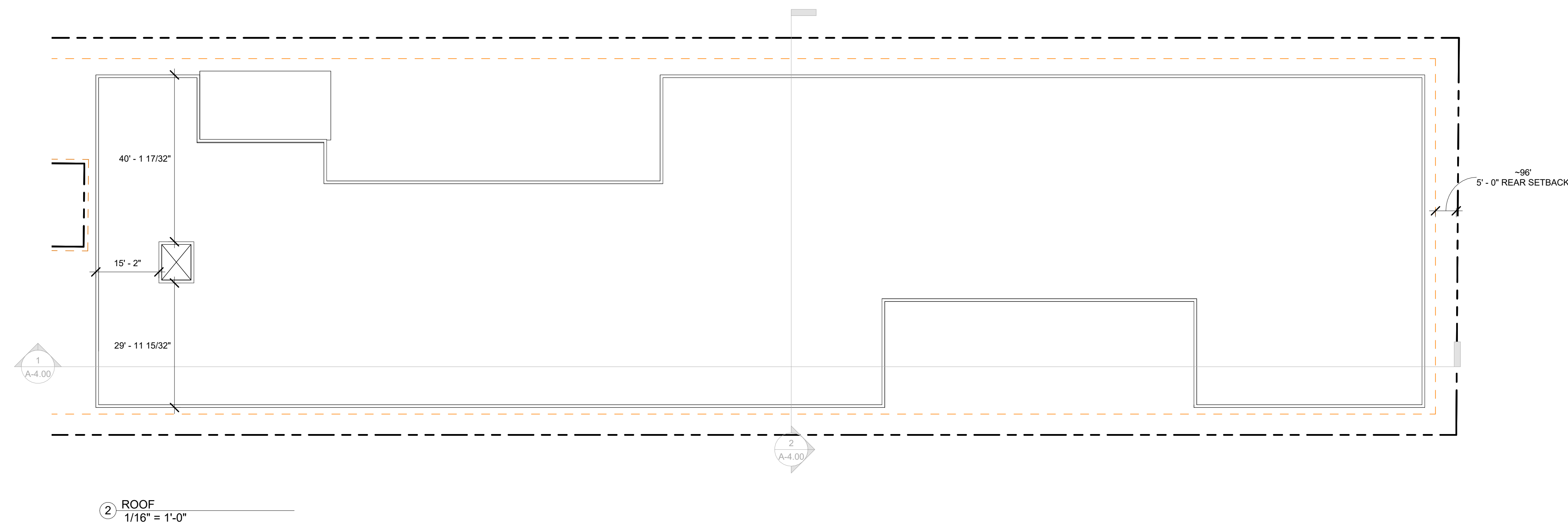
**A-2.03**

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Room Schedule L6				
Name	Unit Type	Count	Unit Area	Level
A	1 BEDROOM	3	658 SF	Level 6
B	1 BEDROOM	10	511 SF	Level 6
C	1 BEDROOM	1	435 SF	Level 6
D	2 BEDROOM	1	607 SF	Level 6
E	2 BEDROOM	1	671 SF	Level 6
F	2 BEDROOM	1	847 SF	Level 6
G	2 BEDROOM	1	650 SF	Level 6
H	2 BEDROOM	2	846 SF	Level 6
COMMON AREA	AMENITY	1	546 SF	Level 6
LOUNGE	AMENITY	7	<varies>	Level 6

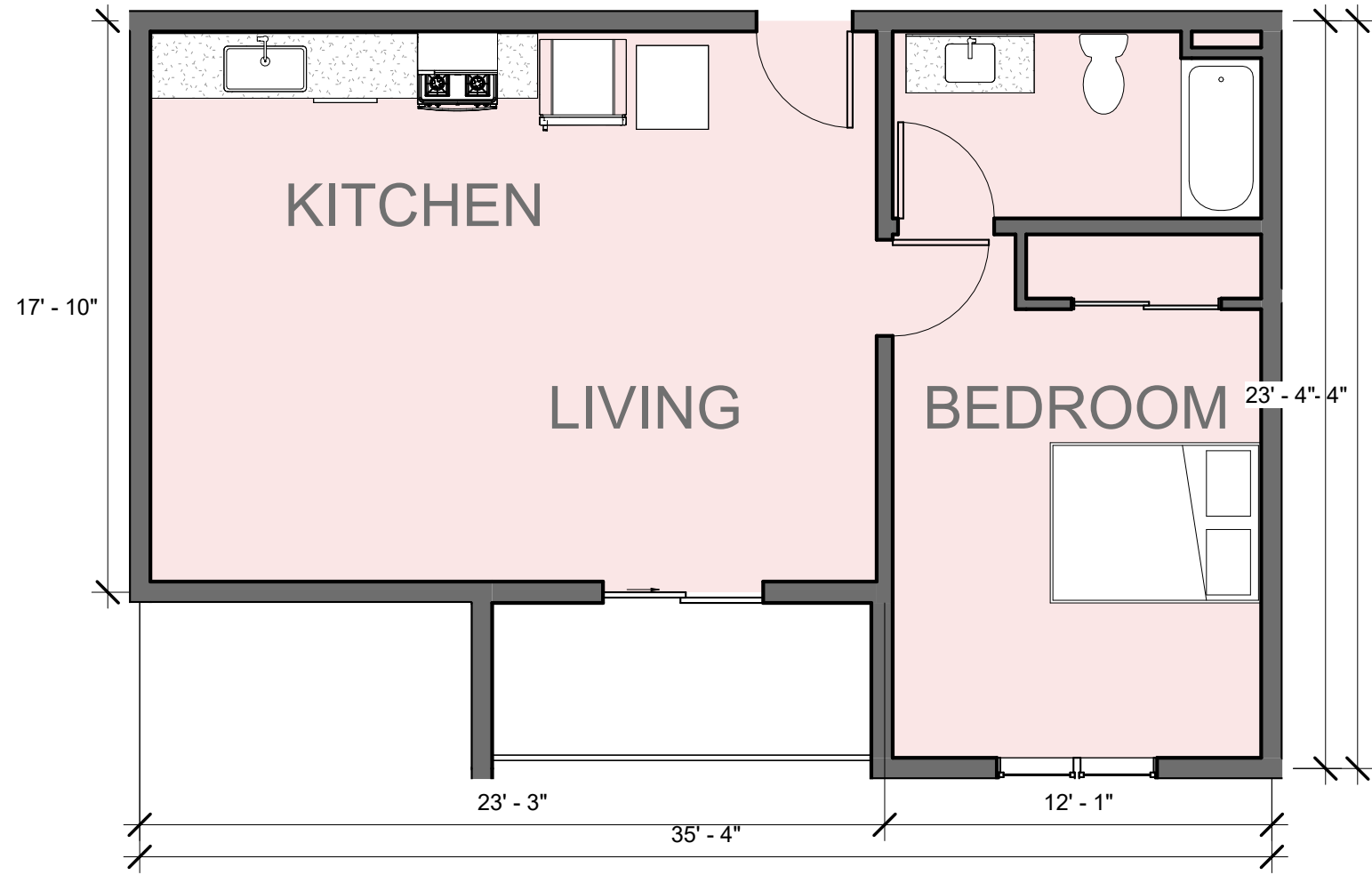
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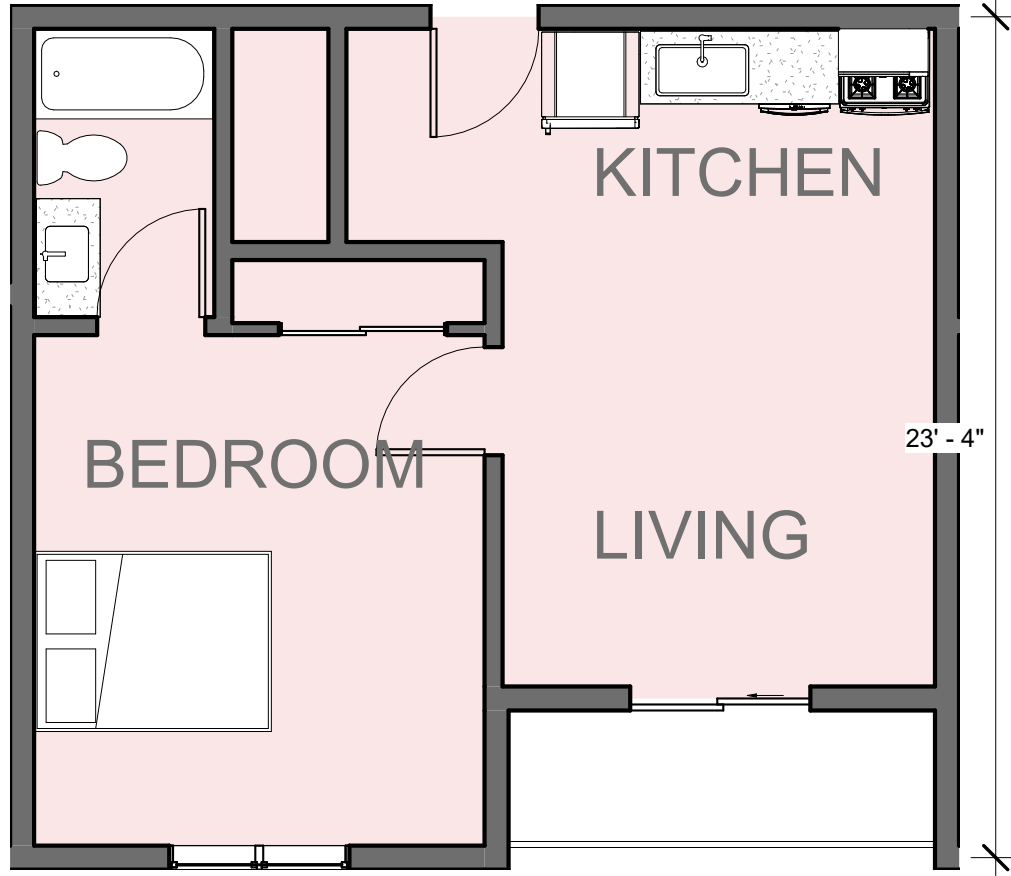
ONE BEDROOM UNITS

TWO BEDROOM UNITS

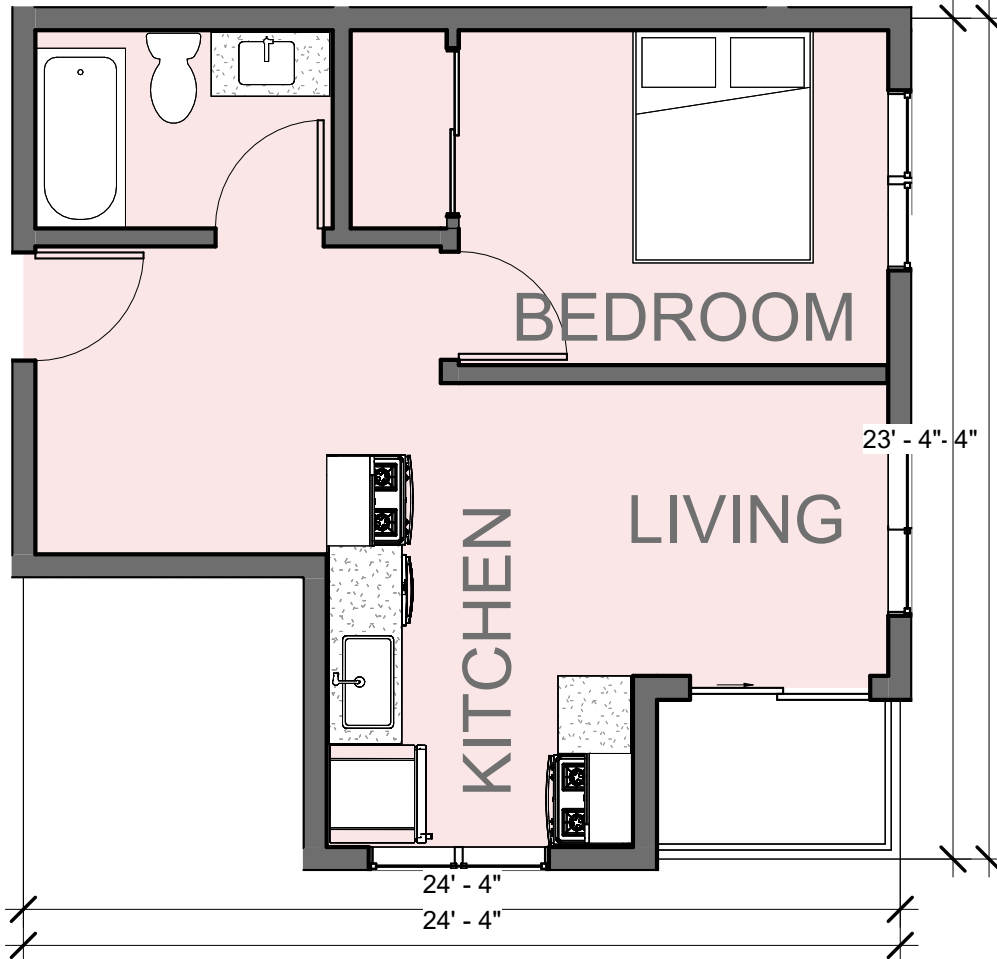
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3/16" = 1'-0"



2 UNIT TYPE B  
3/16" = 1'-0"



3 UNIT TYPE C  
3/16" = 1'-0"

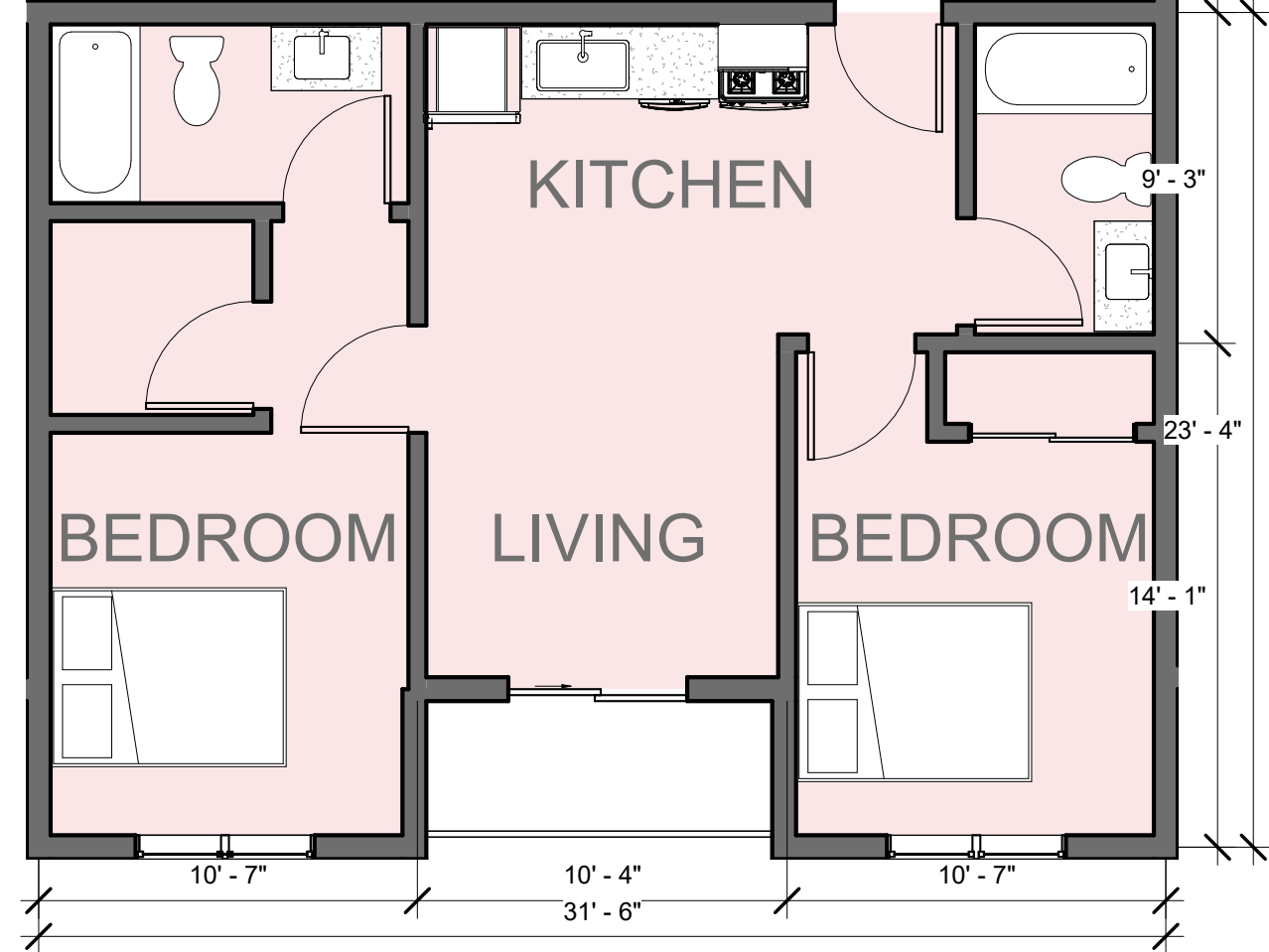


UNIT SCHEDULE

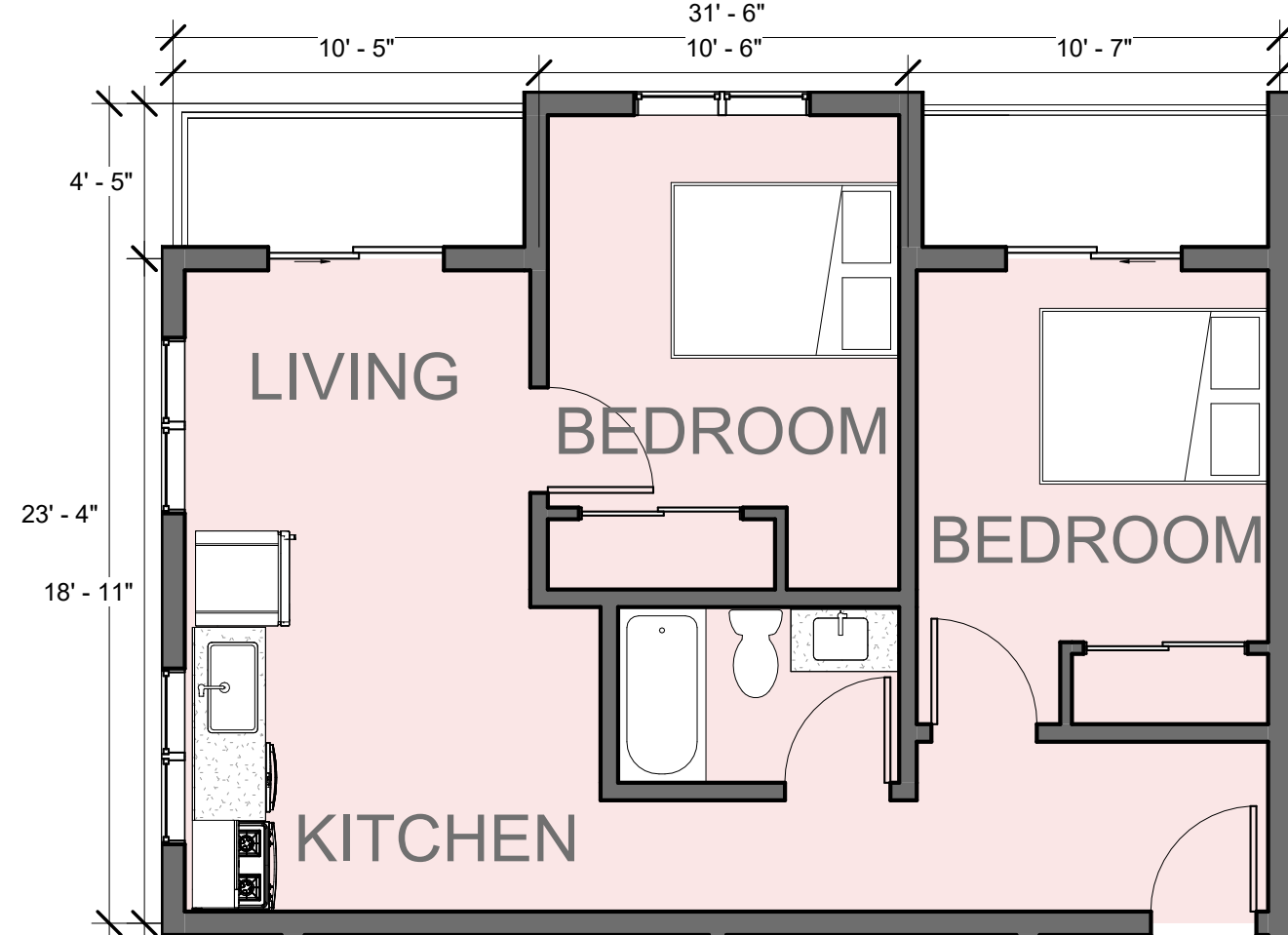
Room Schedule			
Name	Unit Type	Count	Unit Area

A	1 BEDROOM	19	658 SF
B	1 BEDROOM	49	511 SF
C	1 BEDROOM	5	435 SF
D	2 BEDROOM	9	607 SF
E	2 BEDROOM	5	671 SF
F	2 BEDROOM	9	847 SF
G	2 BEDROOM	5	650 SF
H	2 BEDROOM	10	846 SF
Grand total		111	

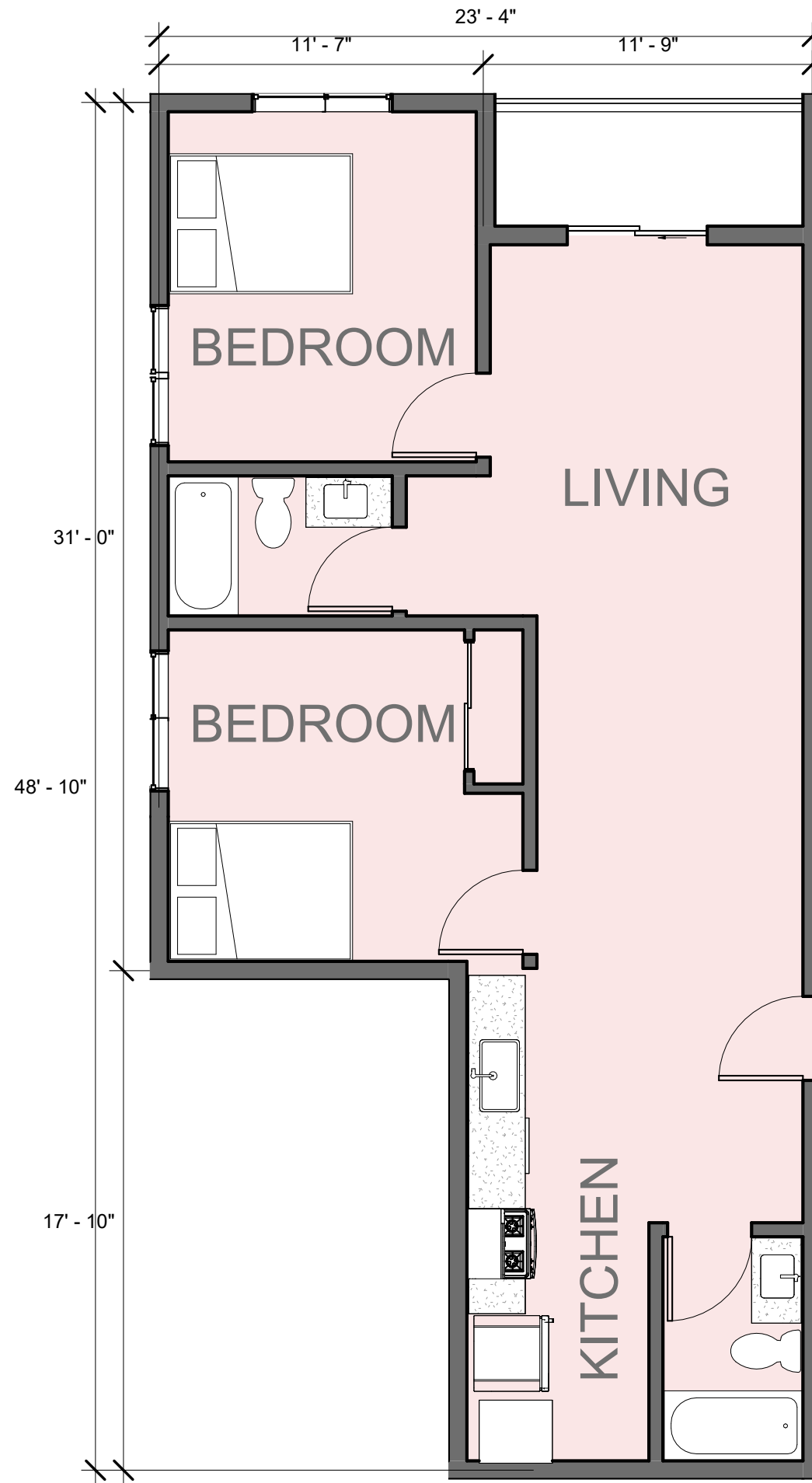
5 UNIT TYPE G  
3/16" = 1'-0"



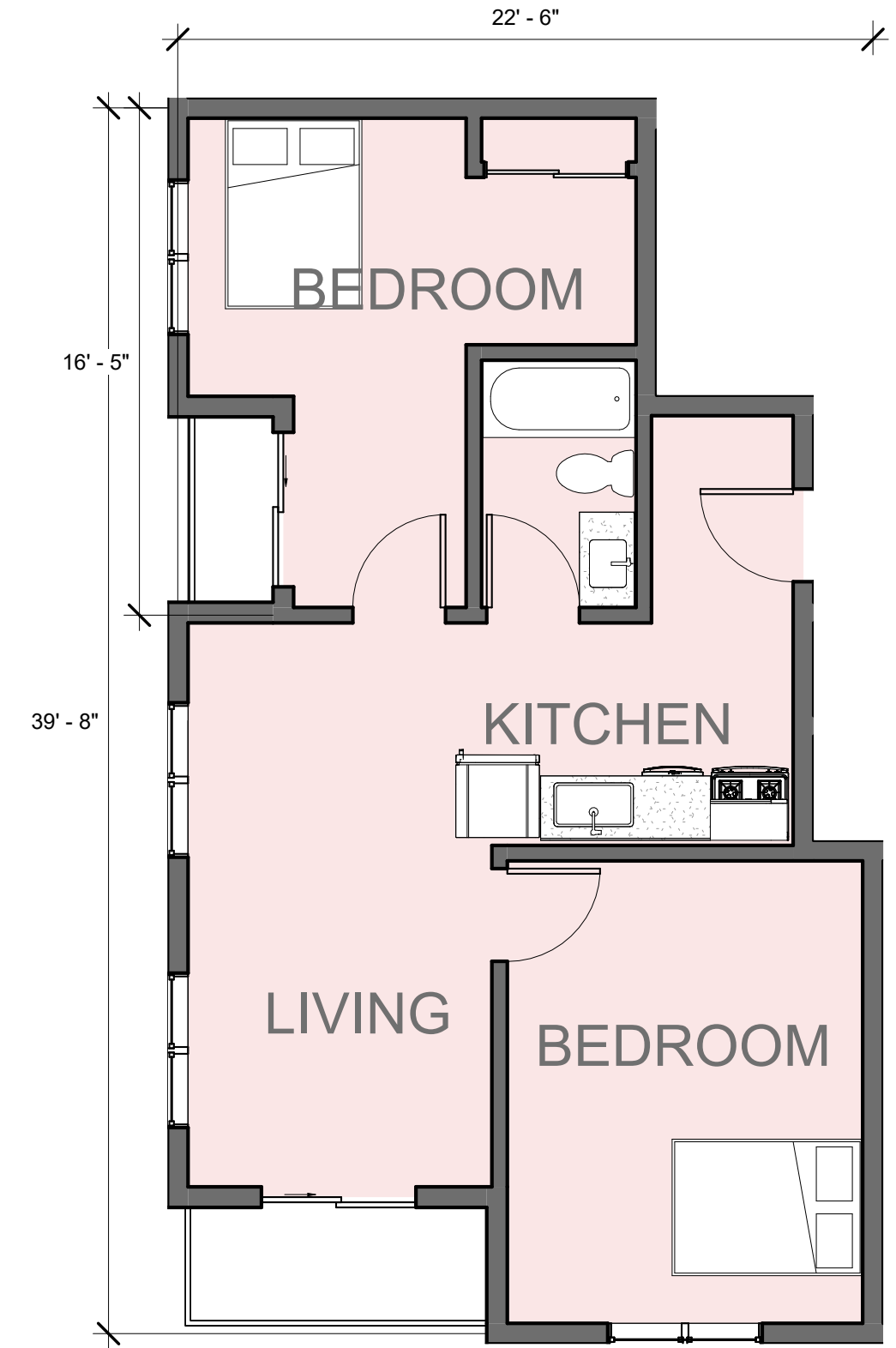
7 UNIT TYPE D  
3/16" = 1'-0"



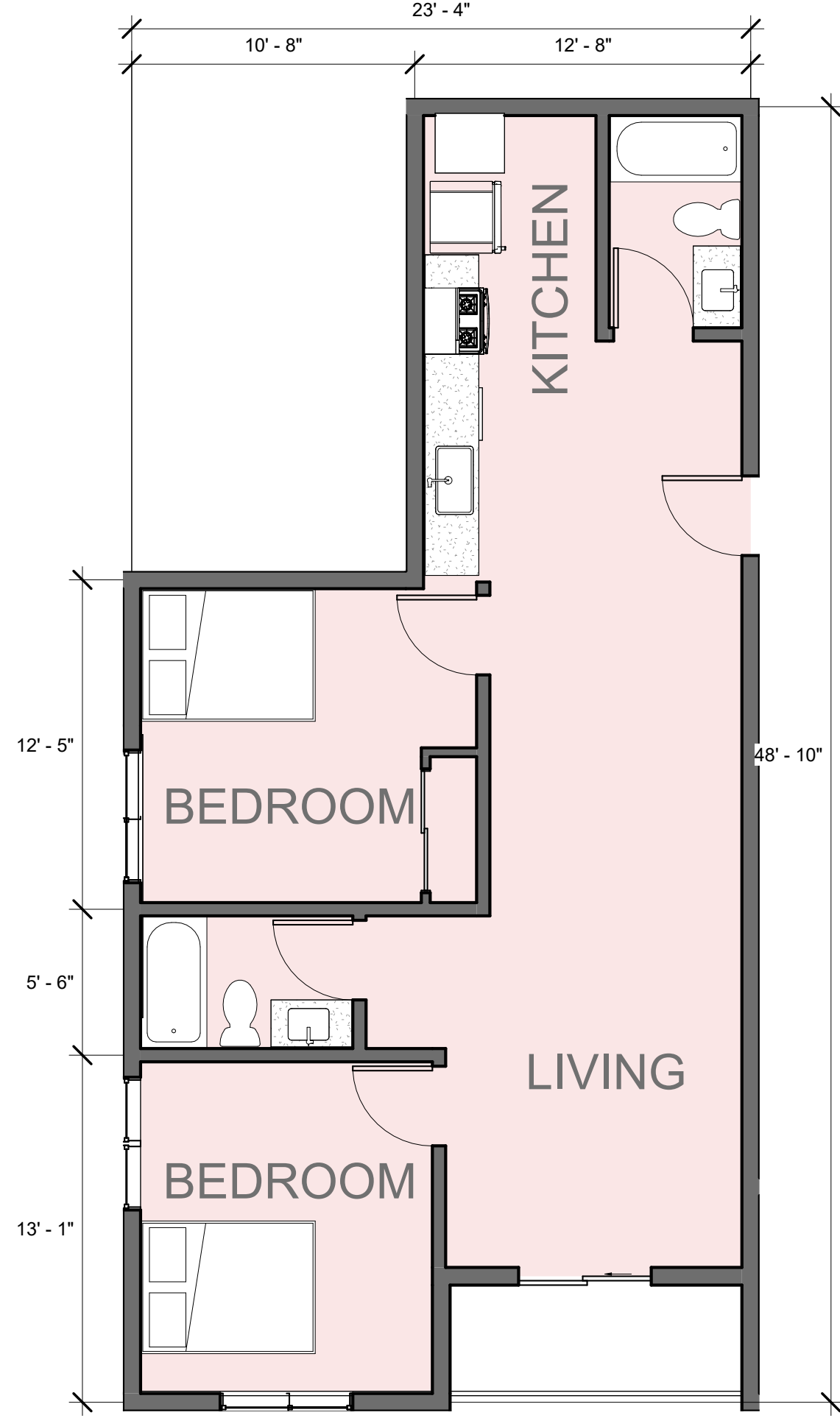
4 UNIT TYPE F  
3/16" = 1'-0"



6 UNIT TYPE E  
3/16" = 1'-0"



8 UNIT TYPE H  
3/16" = 1'-0"



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PROJECT TITLE

CONTACT

OWNER/ SUBDIVIDER

ENGINEER

SEAL & SIGNATURE

PROJECT ADDRESS

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NO.	DATE
Project Number	Issue Date
DRAWN BY	CHECKED BY
Author	Checker

SCALE 3/16" = 1'-0"

TITLE

Unit Plans

SHEET NO.

A-2.10

3/4/2025 9:37:01 AM



# Vermont Apartments

PROJECT TITLE

CONTACT

OWNER/ SUBDIVIDER

ENGINEER

SEAL & SIGNATURE

PROJECT ADDRESS

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NO.	DATE
Project Number	Issue Date
DRAWN BY	CHECKED BY
Author	Checker

SCALE 1/16" = 1'-0"


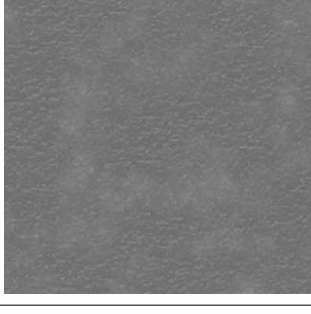
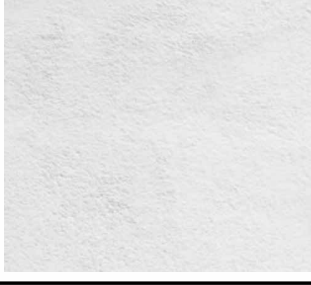
TITLE

Elevations

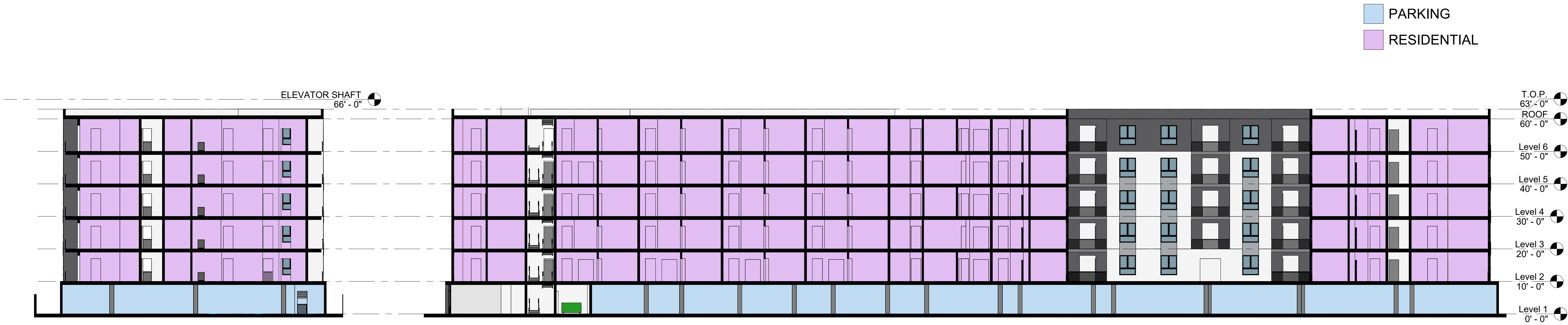
SHEET NO.

A-3.00

3/4/2025 9:37:20 AM

Exterior Material Schedule			
Material: Mark	Material: Image	Material: Comments	Material: Description
ST-01		Exterior Stucco Cement Plaster. Use La Harbra SBMF ( Santa Barbara Mission Finish), Steel Troweled Smooth Finish. Exterior Color Coat Stucco Plaster. Base Color to be Base 200 p-2090 Thunder Sky.	Stucco
ST-02		Exterior Stucco Cement Plaster. Use La Harbra SBMF ( Santa Barbara Mission Finish), Steel Troweled Smooth Finish. Exterior Color Coat Stucco Plaster. Base Color to be Base 200 p-1661 Titanium.	Stucco
ST-03		Exterior Stucco Cement Plaster. Use La Harbra SBMF ( Santa Barbara Mission Finish), Steel Troweled Smooth Finish. Exterior Color Coat Stucco Plaster. Base Color to be Base 100 p-100 Glacier White.	Stucco





② Section 2  
1/16" = 1'-0"

① Section 1  
1/16" = 1'-0"



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# Vermont Apartments

PROJECT TITLE

CONTACT

OWNER/ SUBDIVIDER

ENGINEER

SEAL & SIGNATURE

PROJECT ADDRESS

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NO.	DATE
Project Number	Issue Date
DRAWN BY	CHECKED BY
Author	Checker

SCALE 1/16" = 1'-0"

TITLE

Sections

SHEET NO.

A-4.00

3/4/2025 9:37:23 AM