



SoLa Impact, Triple Main Street 84 UNIT APARTMENT BUILDING

BUILDING CODE REVIEW

AUTHORITY: CITY OF LOS ANGELES

CODES: 2020 LA AMENDED RESIDENTIAL CODE (19 CRC),
2020 LA AMENDED PLUMBING CODE (19 CPC),
2020 LA AMENDED MECHANICAL CODE (19 CMC),
2020 LA AMENDED ELECTRICAL CODE (19 CEC)

TYPE OF CONST: TYPE V/A / II.B FULLY SPRINKLERED (NFPA-13)
OVER TYPE I.B FULLY SPRINKLERED (NFPA-1)
EQUIPPED WITH CLASS III STAND PIPE
ERRCS PER LAFIC 510 AND FPB REQ. #105
MANUAL FIRE ALARM SYSTEM PER 907.2 LAFIC
EMERGENCY RADIO RESPONDER RADIO
COVERAGE
IN ACCORDANCE WITH LAFIC 510.

OCCUPANCY: R-2 / S-2

PROPOSED USE: 84 UNIT APARTMENT

NUMBER OF STORIES: 6 STORIES OVER
STREET LEVEL PARKING GARAGE

DIFFERED PERMITS

ELECTRICAL
MECHANICAL
PLUMBING
FIRE SPRINKLER
FIRE ALARM

Sheet Number	Sheet Name
Sheet List	
ARCHITECTURAL	
A0.00	TITLE SHEET
A0.01	GREEN BUILDING FORMS
A0.02	DISABLE ACCESS DETAILS
A0.03	DISABLE ACCESS DETAILS
A0.04	DISABLE ACCESS DETAILS
A0.05	DISABLE ACCESS DETAILS
A0.06	DISABLE ACCESS DETAILS
A0.07	DISABLE ACCESS DETAILS
A0.08	DISABLE ACCESS DETAILS
A0.09	DISABLE ACCESS DETAILS
A1.00	SURVEY
A1.01	SITE PLAN
A1.02	FLOOR AREA RATIO
A1.03	OCCUPANCY PLANS
A1.04	ALLOWABLE OPENING
A1.06	USABLE OPEN SPACE
A1.08	UNIT AREA
A2.01	1ST FLOOR PLAN
A2.02	2ND FLOOR PLAN
A2.03	3RD FLOOR PLAN
A2.04	4TH FLOOR PLAN
A2.05	5TH FLOOR PLAN
A2.06	6TH FLOOR PLAN
A2.07	ROOF PLAN
A3.01	ELEVATIONS & SECTION
A3.02	ELEVATIONS & SECTION
A3.03	SECTION
A3.04	SECTION
A4.01	UNIT ENLARGEMENTS
A4.02	UNIT ENLARGEMENTS
A4.03	ENLARGED BATHROOMS PLANS & INT. ELEV. ROOM SCHEDULE
A5.01	DOOR TYPES & SCHEDULE
A5.02	WINDOW TYPES & SCHEDULE
A6.01	STAIR 'A' & 'B' ENLARGEMENTS
A6.02	STAIR 'C' ENLARGEMENT
A6.03	STAIR GENERAL DETAILS
A6.04	1 HR. WALL & FLOOR ASSEMBLY DETAILS
A6.05	2-HR WALL & FLOOR ASSEMBLY DETAILS
A6.06	3-HR DW. WALL DETAILS
A6.07	FIBER CEMENT DETAILS
STRUCTURAL	
S-1	GENERAL NOTES & STANDARD DETAIL
S-2	FOUNDATION PLAN
S-3	LEVEL 2 PODIUM DECK REINFORCING LAYOUT PLAN
S-3.1	CONCRETE DECK PLAN
S-4	SECONF FLOOR FRAMING PLAN
S-5	THIRD & FOURTH FLOOR FRAMING PLAN
S-6	FIFTH FLOOR FRAMING PLAN
S-7	PARTIAL ROOF FRAMING PLAN & SIXTH FLOOR FRAMING PLAN
S-8	TOP ROOF FRAMING PLAN
S-9	DETAILS
S-10	DETAILS
S-11	DETAILS
S-12	DETAILS
LANDSCAPING	
L1	LANDSCAPE PLAN
L2	IRRIGATION PLAN
L3	LANDSCAPE DETAIN & SPECIFICATION

PROJECT DATA

PROJECT NAME: SoLa Triple Main
JOB ADDRESS: 11630 S. MAIN STREET, LOS ANGELES, CA 90061
PROPERTY OWNER: SIOF 4 PROPERTIES LLC
PROPOSING USE: 84 UNIT APARTMENT BUILDING (TOC INCENTIVES)
OVER STREET LEVEL PARKING
LEGAL DESCRIPTION: LOT 3.4, 5 & PORTION OF F6, TR 3598
A.P.N.: 6083-010-010, 6083-010-027, 6083-010-031
ZONE: C2-1VL
TOC TIER: TIER 3
LOT SIZE: 19,963.6 S.F.
INCLUDING HALF OF THE ALLEY: 19,339 S.F.
BASE NUMBER OF UNITS ALLOWED: 19339 / 400 = 48.347 = 49 UNITS
TOC HOUSING INCENTIVE TIER 3, 70% INCREASE: 49 X 1.7 = 83.3 = 84 UNITS
BUILDABLE FAR: 19,963.6 X 1.5 = 56,890.8 S.F.
TOC HOUSING INCENTIVE TIER 3, 3.75 FAR: 19,963 X 3.75 = 71,113.5 S.F.
TOTAL BUILDABLE: 71,113.5 S.F.
NUMBER OF STORIES ALLOWED: ONLY LIMITED TO HEIGHT, NOT STORIES
HEIGHT: 45'+22'-0" (TOC. INCENTIVE) = 67'-0" MAX. BUILDING HEIGHT
MENU OF TOC BASE INCENTIVES:

- FLOOR AREA RATIO
- INCREASE IN NUMBER OF UNITS
- PARKING REDUCTION TO 0.5 PER UNIT
- HEIGHT INCREASE 22'-0"
- REDUCTION IN YARD SETBACK UTILIZING RAS ZONE REQUIREMENT FOR SIDES AND REAR
- 25% DECREASE IN REQUIRED OPEN SPACE

MENU OF TOC ADDITIONAL INCENTIVES:

- FLOOR AREA RATIO
- INCREASE IN NUMBER OF UNITS
- PARKING REDUCTION TO 0.5 PER UNIT
- HEIGHT INCREASE 22'-0"
- REDUCTION IN YARD SETBACK UTILIZING RAS ZONE REQUIREMENT FOR SIDES AND REAR
- 25% DECREASE IN REQUIRED OPEN SPACE

UNIT MIX:

	STUDIO	TBR	TBR	2 BR	3 BR
LEVEL 1					
LEVEL 2		35	2	1	
LEVEL 3		36	2	1	
LEVEL 4		36	2	1	
LEVEL 5		36	2	1	
LEVEL 6		8	1	0	
TOTAL		71	8	4	0

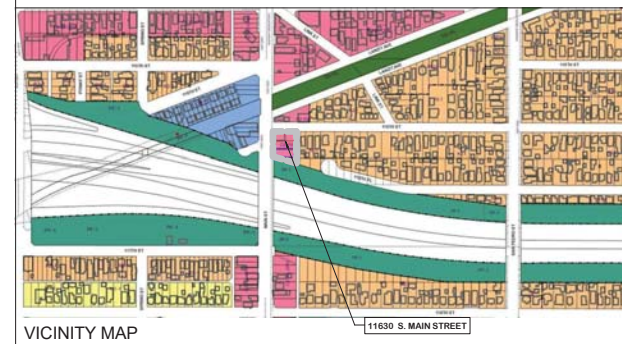
11% SET ASIDE FOR LOW INCOME=9.24 (10 UNITS)
PARKING REQUIRED: 84 UNITS @ 0.5 PER UNIT = 42
BICYCLE PARKING REQUIRED:

	LONG TERM	SHORT TERM
84 UNIT		
@ 1 PER UNIT FOR 1- 25	25	
@ 1 PER 1.5 UNITS 25-100	38	
@ 1 PER 10 UNITS FOR 1- 25		2.5
@ 1 PER 10 UNITS FOR 25-100		1
TOTAL:	65	7

PARKING AND BICYCLE PROVIDED:

	HC	STD	COMP.	LONG TERM	SHORT TERM
LEVEL 1	2	40	0		
TOTAL	42	PARKING SPACES		65	7

ZONING CODE FLOOR AREA: 147,514 SQ. FT.



ARCHITECT
 Name: John Poindecker
 Title: Executive Archt.
 Address: 3800 Wilshire Boulevard Suite 1402 Los Angeles, California 90010
 Phone: 213.392.1219
 Fax: 213.392.1365
 Email: jpoinder@envirotechure.com

STRUCTURAL ENGINEER
 Name: Valeri Arsenjan, P.E.
 Title: VCE Marine, Inc.
 Address: 1122 W. Burbank Boulevard Suite 301 Burbank, California 91506
 Phone: 818.559.5599
 Fax: 818.559.5511
 Email: Valeri@vceengineer.com

MECHANICAL ENGINEER
 Name: Serge Davalabedian
 Title: HVAC Engineering Consultants
 Address: 11511 Burbank Boulevard North Hollywood, California 91601
 Phone: 818.960.7583
 Email: sda@hvacnet.com

ELECTRICAL ENGINEERING
 Name: Henry Abram, P.E.
 Title: Abram & Associates
 Address: 7711 Sheppard Avenue Concord, California 97021
 Phone: 818.956.1800
 Fax: 818.957.0330
 Email: ma@abram.com

LANDSCAPE ARCHITECT
 Name: Shirley Sparks
 Title: Harmony Gardens, Inc.
 Address: 10224 Anderson Street Valley Village, California 91607
 Phone: 818.362.9793
 Fax: 818.760.7558
 Email: Shirley@harmonygardens.net

SURVEYOR
 Name: Neil Hanson
 Title: N.C. Hanson, Inc.
 Address: 1540 Victoria Boulevard, 2nd Floor Glendale, California 91201
 Phone: 818.276.8697
 Fax: 818.276.8697
 Email: nhanson@nchanson.com

GEOTECHNICAL ENGINEER
 Name: N/A
 Title: N/A
 Address: N/A
 Phone: N/A
 Fax: N/A
 Email: N/A

OWNER
 Name: SIOF 4 Properties LLC
 Address: 805 S. Vermont Avenue Los Angeles, California 90064
 Phone: 1.213.385.8458
 Email: clare@sofiimpact.com

No.	Revisions	Date

SoLa IMPACT - MAIN STREET CD02
 11630-11640 South Main Street, Los Angeles, California 90061



TITLE SHEET

Project number: 1918 CD02
 Date: 07/07/2020
 Drawn by: KAT
 Checked by: JP

A0.00

Scale: 12" = 1'-0"

TRACT NO. 3598
M.S. 40 / 21



Vicinity Map (Not To Scale)



Graphic Scale



Benchmark
 LOS ANGELES CITY BENCHMARK NO. B-CR331
 376 W CURRY MAIN ST. 50 FT. S. OF SOUTHWEST CORNER
 MENC 23
 ELEVATION: 130.44 FEET (NOV. 1968 DATUM)
 390.45 (STATION)

Surveyor's Notes

All sites were setup junk yards at time of survey or stored several large vehicles at time of survey. Southern portion of Alley was occupied by a trailer, crates, and storage. I do not know what time of survey. Survey data shown herein reflects best observable data available at time of survey.

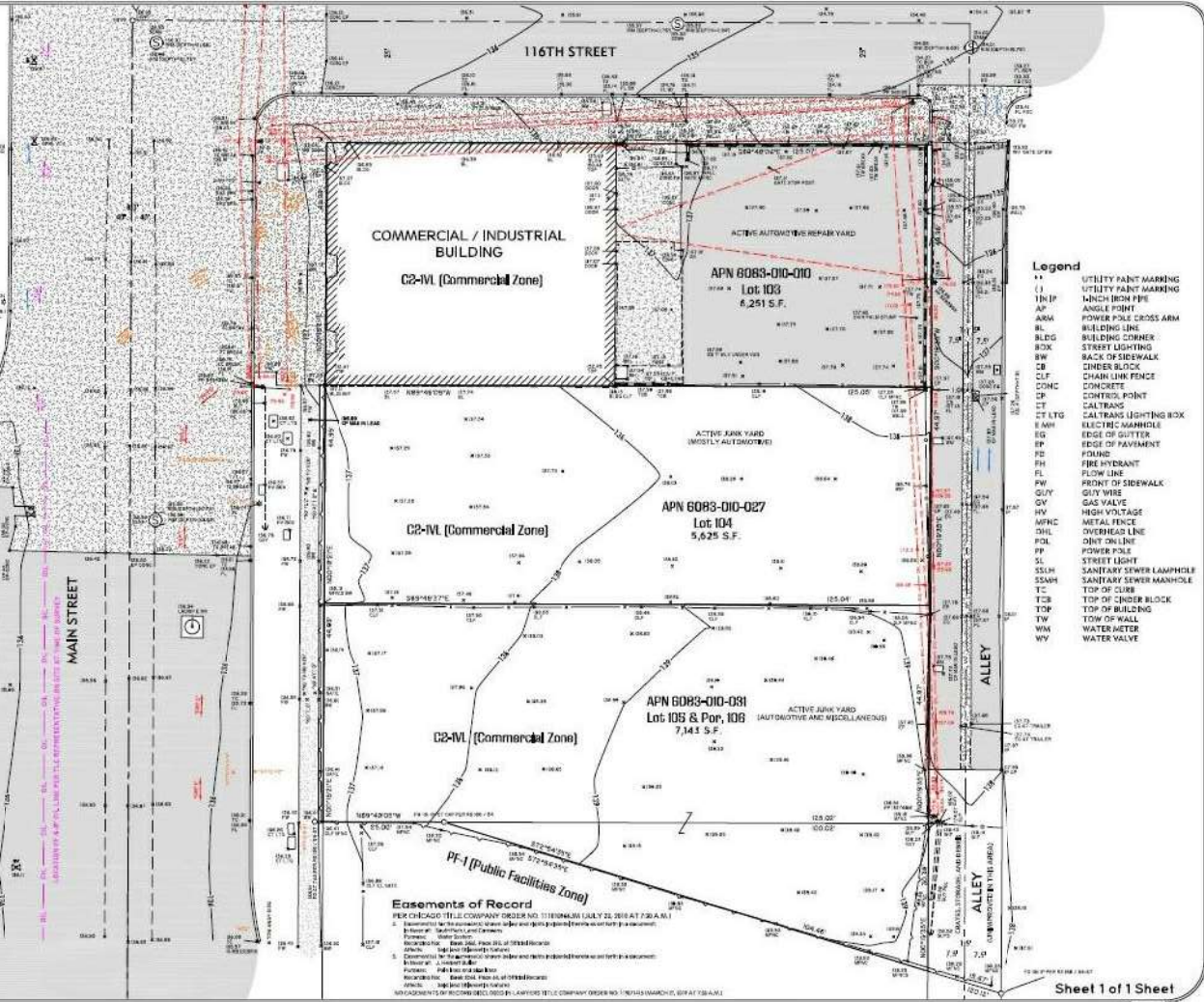
Zoning Information shown herein obtained from ZimaLA City Dept.

Obstacles have been observed during the course of survey and shown herein should not be construed as the only obstacles but within the survey limits shown herein. This is not a LADWP standard wire tag survey.

Utility mark markings and locations provided by others and were collected for reference purposes at the Client's request. K.C. Hansen, Inc. makes no claim or guarantee, as to the accuracy of said mark markings relative to the true location of any subsurface utilities.

Surveyor is not responsible for any items which may be omitted from this map due to obstructions at time of survey including, but not limited to, inaccessible areas, parked vehicles, debris / rubble, and/or dense vegetation.

Any heritage and contours shown herein without survey prior data are interpolated between the least shown survey points and should be considered approximate as only an infinite number of field measurements would represent precise ground conditions.



- Legend**
- UTILITY PAINT MARKING
 - UTILITY PAINT MARKING
 - MINOR IRON PIPE
 - ANGLE POINT
 - POWER POLE CROSS ARM
 - BUILDING LINE
 - BUILDING CORNER
 - STREET LIGHTING
 - BACK OF SIDEWALK
 - CINDER BLOCK
 - CHAIR LIGN FENCE
 - CONCRETE
 - CONTROL POINT
 - CONTROL POINT
 - CALTRANS
 - CALTRANS LIGHTING BOX
 - ELECTRIC MANNHOLE
 - EDGE OF GUTTER
 - EDGE OF PAVEMENT
 - FOUND
 - FIRE HYDRANT
 - FLOW LINE
 - POINT OF SIDEWALK
 - CITY WIRE
 - GAS VALVE
 - HIGH VOLTAGE
 - METAL FENCE
 - OVERHEAD LINE
 - PHD
 - DRY ON LINE
 - POWER POLE
 - STREET LIGHT
 - SANITARY SEWER LAMPHOLE
 - SANITARY SEWER MANHOLE
 - TC
 - TOP OF CURB
 - TOP OF CHIMNEY BLOCK
 - TOP OF BUILDING
 - TOP OF WALL
 - WATER METER
 - WATER VALVE

Topographic Survey
 11630, 11638, AND 11640 S. MAIN STREET
 LOS ANGELES, CALIFORNIA 90061

Prepared For
 JAMES ELLIOTT
 SOLA RENTALS
 8539 N. VINEYBENT AVENUE
 LOS ANGELES, CALIFORNIA 90044

Legal Description
 LOT 3, 4, AND LOT 5, AND THAT PORTION OF LOT 4 OF TRACT NO. 3598, IN THE CITY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 29 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, LOT 3 AND SAID PORTION OF LOT 4, MORE PARTICULAR DESCRIBED AS A WHOLE IN INSTRUMENT NO. 398147463, OFFICIAL RECORDS.

Basis of Bearings
 The bearings shown herein are based on the bearing North 00°18'24" East in the corridor of Main Street as shown on map filed in book 188 pages 54 to 57, inclusive, of record of survey, in the office of the County Recorder of Los Angeles County.

Prepared by
N.C. HANSEN, INC.
 SURVEYING & MAPPING
 1545 Victory Boulevard, 2nd Floor
 Glendale, California 91201
 Tel: (747) 215-6667 www.NCHansen.com
 Date of Survey: May 2 & August 22, 2019 // JN 190232JC



ARCHITECT
 Name: John Pfeisterer
 Firm: Pfeisterer & Associates
 Address: 3000 Wilshire Boulevard
 Suite 1402
 Los Angeles, California 90010
 310.270.2170
 310.282.1395
 jpf@pfeistererandassociates.com

STRUCTURAL ENGINEER
 Name: Usha Kulkarni, P.E.
 Firm: KCE Martin, Inc.
 Address: 1112 W. Burbank Boulevard
 Suite 301
 Burbank, California 91506
 818.259.0500
 818.259.5511
 uk@kcemartin.com

MECHANICAL ENGINEER
 Name: Serge Davdeshian
 Firm: Hark Engineering Consultants
 Address: 11311 Wilshire Boulevard
 North Hollywood, California 91601
 818.262.7103
 sda@harkeng.com

ELECTRICAL ENGINEER
 Name: Henry Abram, P.E.
 Firm: Abram & Associates
 Address: Consulting Electrical Engineers
 2711 San Gabriel Avenue
 Los Angeles, California 91201
 818.995.1800
 818.407.0220
 haa@abra.com

LANDSCAPE ARCHITECT
 Name: Charles Gaudin
 Firm: Harmony Gardens, Inc.
 Address: 12224 Ardmore Street
 Valley Village, California 91607
 818.265.7783
 818.762.7558
 chgaud@harmonygardens.com

SURVEYOR
 Name: Neil Hoffman
 Firm: N.C. Hansen, Inc.
 Address: 1545 Victory Boulevard, 2nd Floor
 Glendale, California 91201
 818.215.6667

GEOTECHNICAL ENGINEER
 Name: Juan A. Vial
 Firm: AUSA GEOTECHNICAL, Inc.
 Address: 10326 Sherman Way, Suite A
 Van Nuys, CA 91410
 818.704.2111

CIVIL ENGINEER
 Name: Serge Adamin, PE, CEM
 Firm: Adamin & Associates
 Address: 2310 Gardner Pl.
 West Hollywood, CA 91606
 818.244.2020
 818.244.4149
 serge_adamin@aadao.com

OWNER
 Name: JDF & Properties LLC
 Address: 8028 G. Vermont Avenue
 Los Angeles, California 90044
 310.236.0448
 jdf@jdfproperties.com

No.	Revisions	Date

Sola IMPACT - TRIPLE MAIN STREET
 11630-11640 South Main Street, Los Angeles, California 90061

TOPOGRAPHIC SURVEY
 Project number: 1918 CD03
 Date: 10/15/2020
 Drawn by: Author
 Checked by: Checked

A1.00

Scale: 1/16" = 1'-0"

SURVEY
 1/16" = 1'-0"



3600 Wilshire Blvd suite 1402
Los Angeles, CA 90010
Tel: 213.382.1210 Fax: 213.382.1285

ARCHITECT

Name: John Poindexter
Firm: Envirotexture, Inc.
Address: 3600 Wilshire Boulevard Suite 1402 Los Angeles, California 90010
Phone: 213.382.1210
Fax: 213.382.1285
E-mail: john@envirotextureinc.com

STRUCTURAL ENGINEER

Name: Vahe Koematrix, P.E.
Firm: KCE Matrix, Inc.
Address: 1112 W. Burbank Boulevard Suite 301 Burbank, California 91506
Phone: 818.559.5500
Fax: 818.559.5511
E-mail: Vahe@koematrixinc.com

MECHANICAL ENGINEER

Name: Serge Davolokhanian
Firm: Arplus Engineering Consultants
Address: 11517 Burbank Boulevard North Hollywood, California 91601
Phone: 818-980-7583
E-mail: @arplus@sboglobal.net

ELECTRICAL ENGINEER

Name: Henry Abrari, P.E.
Firm: Abrari & Associates Consulting Electrical Engineers
Address: 1713 Standard Avenue Glendale, California 91201
Phone: 818.956.1900
Fax: 818.497.0330
E-mail: mail@abrari.com

LANDSCAPE ARCHITECT

Name: Shelley Sparks
Firm: Harmony Gardens, Inc.
Address: 12224 Addison Street Valley Village, California 91607
Phone: 818.505.9763
Fax: 818.760.7558
E-mail: Shelley@Harmonygardens.net

SURVEYOR

Name: Neil Hansen
Firm: N.C. Hanson, Inc.
Address: 1545 Victory Boulevard, 2nd Floor Glendale, California 91201
Phone: 818.215.6567
E-mail:

GEOTECHNICAL ENGINEER

Name: Juan A. Vidari
Firm: A.S.I. GEOTECHNICAL, Inc.
Address: 16555 Sherman Way, Suite A Van Nuys, CA 91406
Phone: 818-240-4500
Cell: 818-384-0410
E-mail:

CIVIL ENGINEER

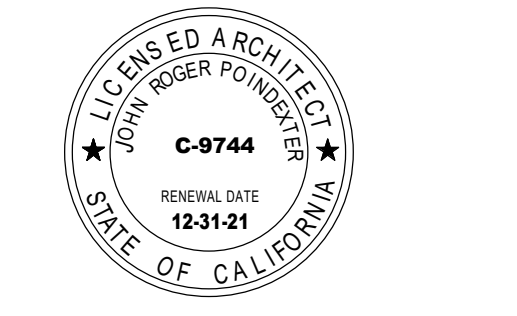
Name: Serge Adamian, PE, CEM
Firm: EcoTrade, Inc.
Address:
Phone: 818-240-4500
Cell: 818-384-0410
E-mail: serge_adamian@sboglobal.net

OWNER

Name: SIOF 4 Properties LLC
Address: 8629 S. Vermont Avenue Los Angeles, California 90044
Phone: 1.323.306.6548
E-mail: aydin@soaimpact.com

No.	Revisions	Date

SoLa IMPACT - MAIN STREET CD02
11630-11640 South Main Street, Los Angeles, California 90061

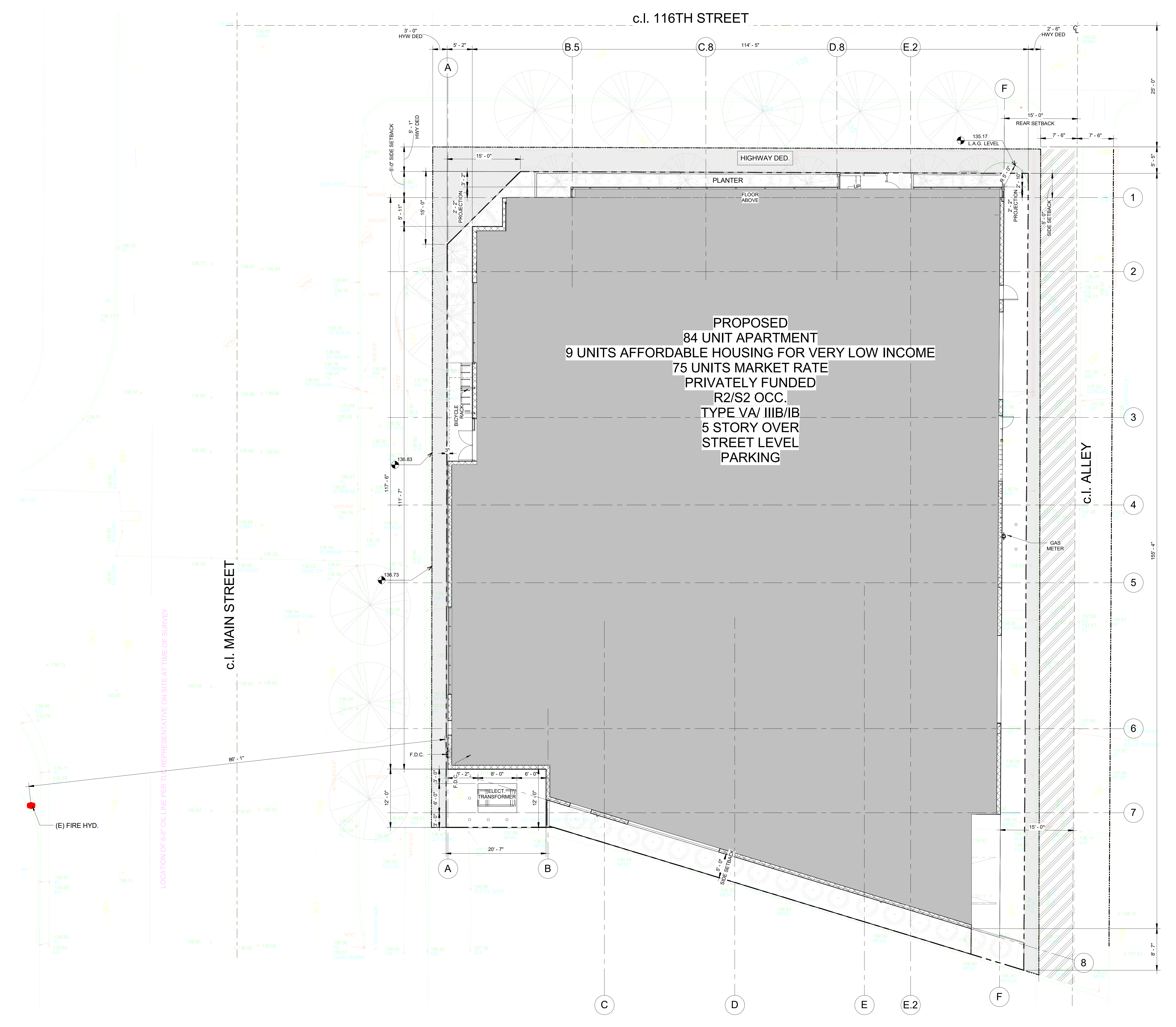


SITE PLAN

Project number: 1918 CD03
Date: 08/31/2020
Drawn by: Author
Checked by: Checker

A1.01

Scale: 1/8" = 1'-0"

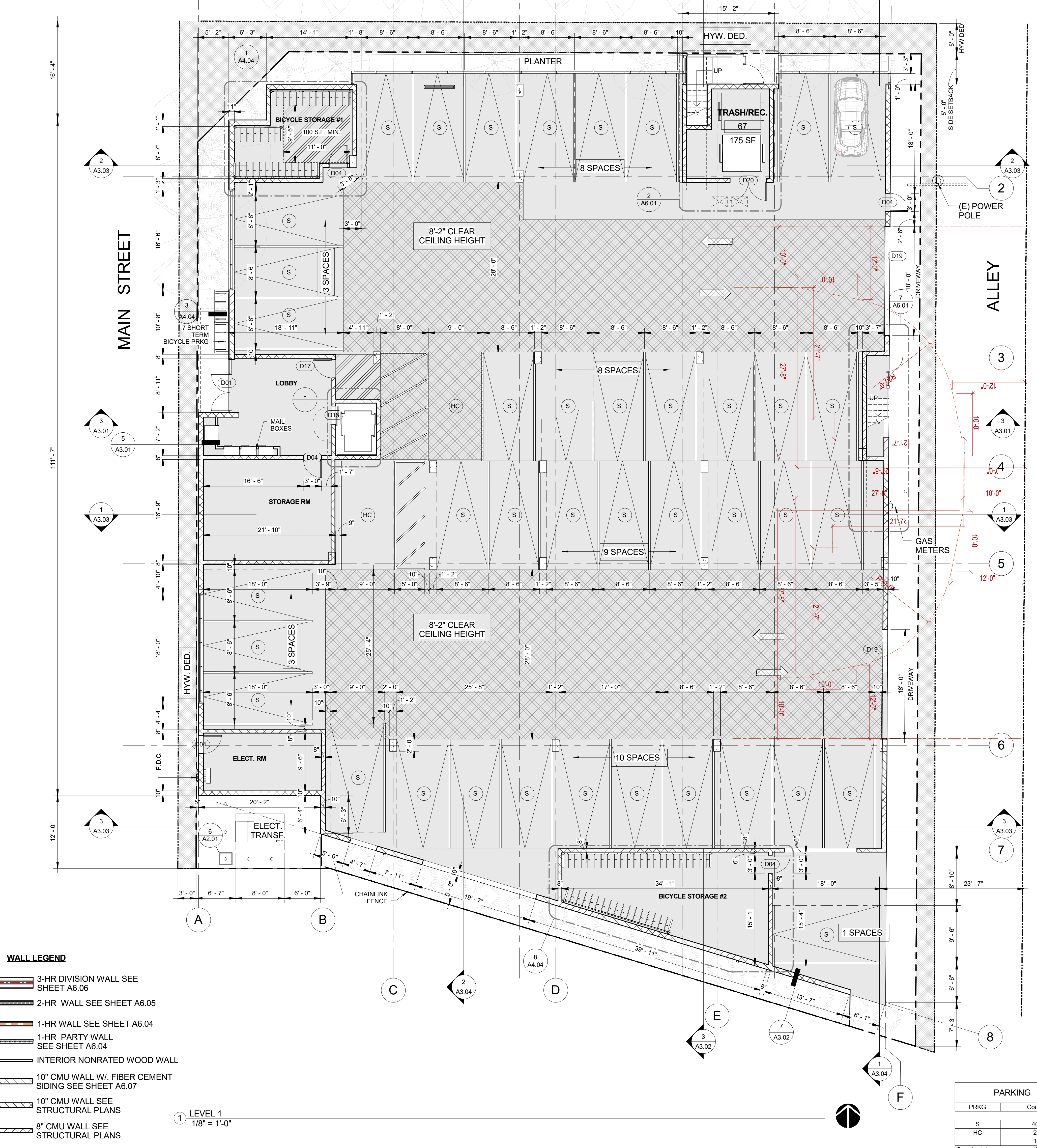


1 SITE PLAN
1/8" = 1'-0"

No.	Revisions	Date

EQUIPMENT LEGEND -

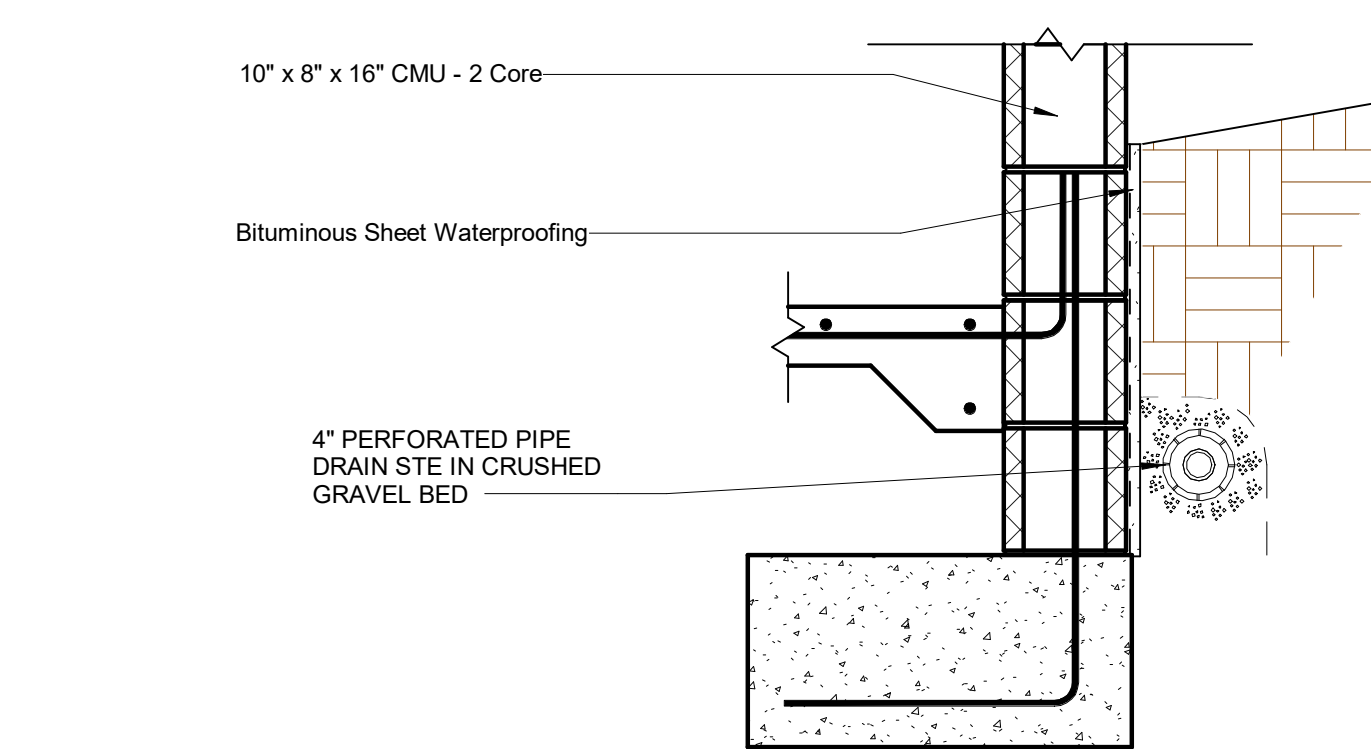
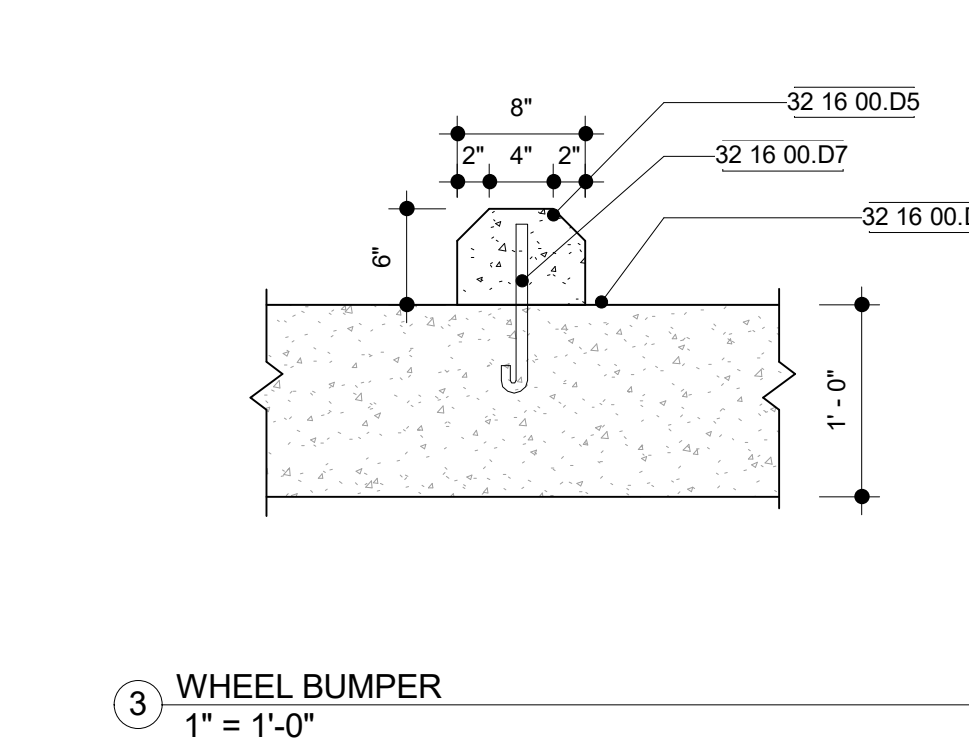
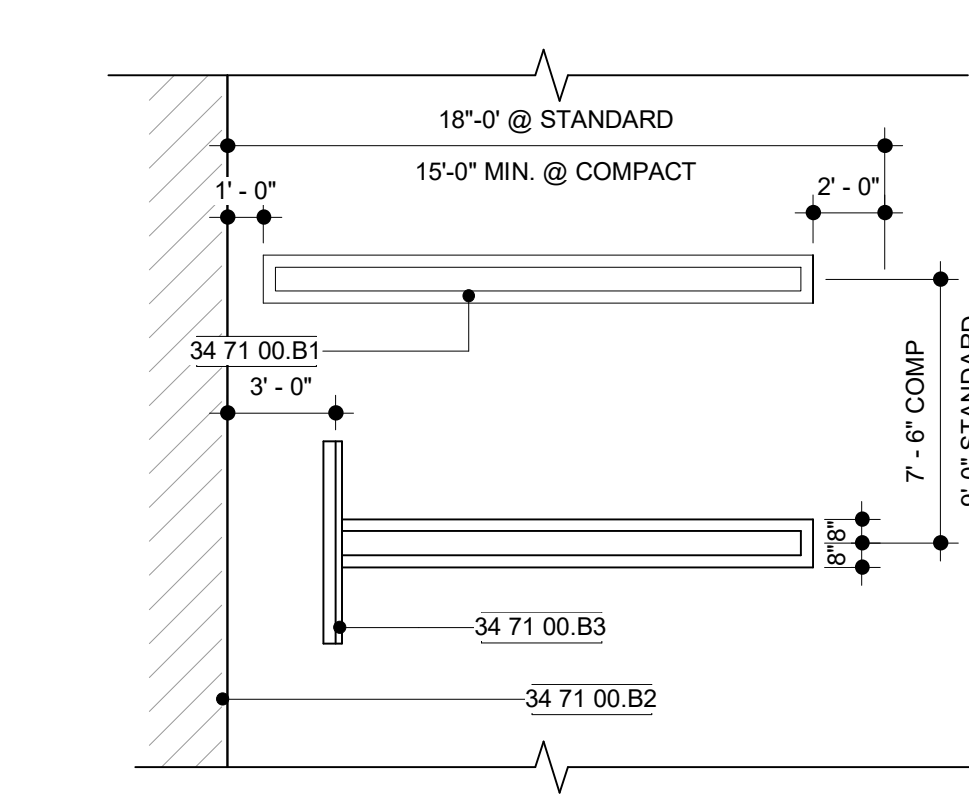
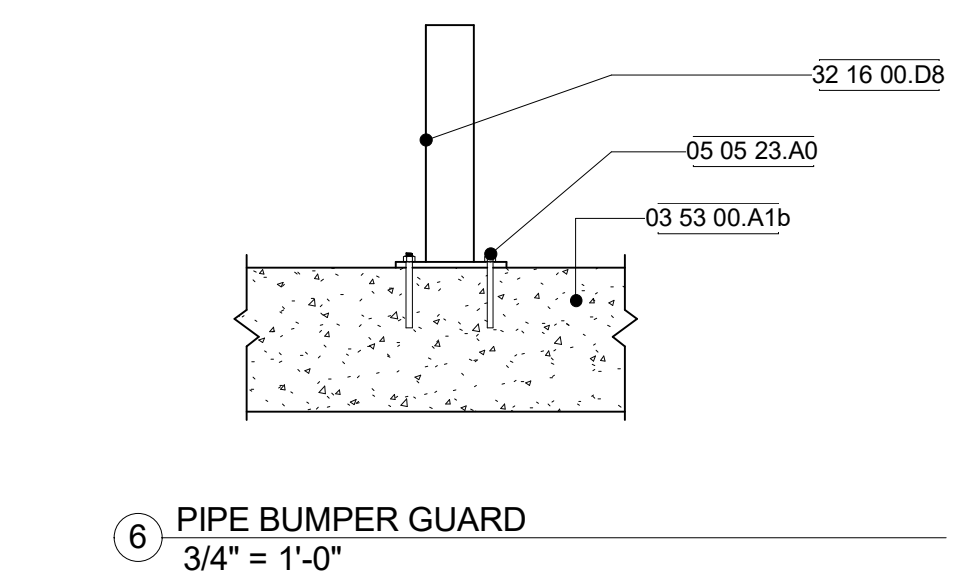
- ⊗ WALL OR CEILING MOUNTED ILLUMINATED EXIT SIGN
- F.E. FIRE EXTINGUISHER SEMI - RECESSED CABINET W/ MIN 2A-10BC SEE NOTE 3 SHEET G5.0-1 AND DET 1.1/A6.02
- F.E. FIRE EXTINGUISHER SURFACE MOUNTED CABINET W/ MIN 2A-10BC SEE
- P DESIGNATES A PROTECTED OPENING BY WATER CURTAIN PER SECTION 705.8.2
- EVS/E (ELECTRICAL VEHICLE SUPPLY EQUIPMENT) 200/240 V 40 A
- ⊠ ELECTRICAL METER
- ▭ ELECTRICAL SUB-PANEL



WALL LEGEND

- ▨ 3-HR DIVISION WALL SEE SHEET A6.06
- ▨ 2-HR WALL SEE SHEET A6.05
- ▨ 1-HR WALL SEE SHEET A6.04
- ▨ 1-HR PARTY WALL SEE SHEET A6.04
- ▨ INTERIOR NONRATED WOOD WALL
- ▨ 10" CMU WALL W/ FIBER CEMENT SIDING SEE SHEET A6.07
- ▨ 10" CMU WALL SEE STRUCTURAL PLANS
- ▨ 8" CMU WALL SEE STRUCTURAL PLANS

1 LEVEL 1
1/8" = 1'-0"

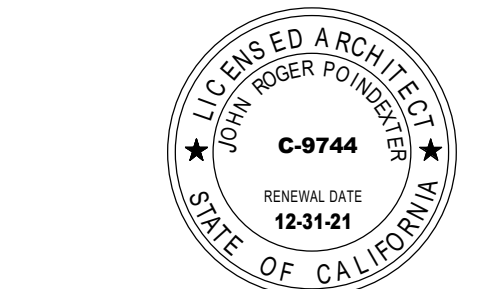


Use Miradri 860/861
1) Apply Miradri primer
2) Apply Miradri M-800 Mastic
3) Apply Miradri 860/861 Membrane
4) Apply Miradri or 200V/300HV P.C
For technical support call (888) 229-0199
Note: Waterproofing should be over the soldier pile

PARKING

PRKNG	Count
S	40
HC	2
Grand total	43

SoLa IMPACT - MAIN STREET CD02
11630-11640 South Main Street, Los Angeles, California 90061



1ST FLOOR PLAN

Project number	1918 CD03
Date	08/31/2020
Drawn by	Kamran
Checked by	JP

A2.01

Scale: As indicated

EQUIPMENT LEGEND -

- WALL OR CEILING MOUNTED ILLUMINATED EXIT SIGN
- FIRE EXTINGUISHER SEMI - RECESSED CABINET
W/ MIN 2A - 10BC SEE NOTE 3 SHEET G5.0-1 AND DET 11/A6.02
- FIRE EXTINGUISHER SURFACE MOUNTED CABINET W/
MIN 2A - 10BC SEE NOTE 3 SHEET G5.0-1 AND DET 11/A6.02
- DESIGNATES A PROTECTED OPENING BY WATER CURTAIN PER SECTION 705.8.2
- EVSE (ELECTRICAL VEHICLE SUPPLY EQUIPMENT) 2002/40 V 40 A
- ELECTRICAL METER
- ELECTRICAL SUB-PANEL

WALL LEGEND

- 3-HR DIVISION WALL SEE SHEET A6.06
- 2-HR WALL SEE SHEET A6.05
- 1-HR WALL SEE SHEET A6.04
- 1-HR PARTY WALL SEE SHEET A6.04
- INTERIOR NONRATED WOOD WALL
- 10" CMU WALL W/ FIBER CEMENT SIDING SEE SHEET A6.07
- 10" CMU WALL SEE STRUCTURAL PLANS
- 8" CMU WALL SEE STRUCTURAL PLANS

1 LEVEL 3
1/8" = 1'-0"



- ARCHITECT**
Name: John Poindexter
Firm: Envirostructure, Inc.
Address: 3600 Wilshire Boulevard Suite 1402 Los Angeles, California 90010
Phone: 1.213.382.1210
Fax: 1.213.382.1285
E-mail: john@envirostructureinc.com
- STRUCTURAL ENGINEER**
Name: Vahé Kadjian, P.E.
Firm: KCE Matrix, Inc.
Address: 1112 W. Burbank Boulevard Suite 301 Burbank, California 91506
Phone: 1.818.569.5500
Fax: 1.818.569.5511
E-mail: Vah@kcoematrixinc.com
- MECHANICAL ENGINEER**
Name: Serge Davolokhanian
Firm: Airplus Engineering Consultants
Address: 11517 Burbank Boulevard North Hollywood, California 91601
Phone: 818-980-7583
E-mail: sdavolokhanian@aboglobal.net
- ELECTRICAL ENGINEER**
Name: Henry Abrari, P.E.
Firm: Abrari & Associates Consulting Electrical Engineers
Address: 1713 Standard Avenue Glendale, California 91201
Phone: 1.818.956.1300
Fax: 1.818.407.0330
Email: mail@abrari.com
- LANDSCAPE ARCHITECT**
Name: Shelley Sparks
Firm: Harmony Gardens, Inc.
Address: 12224 Addison Street Valley Village, California 91607
Phone: 1.818.505.9763
Fax: 1.818.760.7558
Email: Shelley@Harmonygardens.net
- SURVEYOR**
Name: Neil Hansen
Firm: N.C. Hanson, Inc.
Address: 1545 Victory Boulevard, 2nd Floor Glendale, California 91201
Phone: 1.747.215.6567
- GEOTECHNICAL ENGINEER**
Name: Juan A Vidali
Firm: A.G.I. GEOTECHNICAL INC
Address: 16555 Sherman Way, Suite A Van Nuys, CA 91406
Phone: 818-240-4500
Cell: 818-384-0410
Email:
- CIVIL ENGINEER**
Name: Serge Adamian, PE, CEM
Firm: EcoTrade, Inc.
Address:
Phone: 818-240-4500
Cell: 818-384-0410
Fax: 818-384-0410
E-mail: serge_adamian@aboglobal.net
- OWNER**
Name: SIOF 4 Properties LLC
Address: 8629 S. Vermont Avenue Los Angeles, California 90044
Phone: 1.323.306.6548
E-mail: aydin@sioaimpact.com

No.	Revisions	Date

SoLa IMPACT - MAIN STREET CD02
11630-11640 South Main Street, Los Angeles, California 90061

3RD FLOOR PLAN

Project number	1918 CD03
Date	08/31/2020
Drawn by	Author
Checked by	Checker

A2.03

Scale 1/8" = 1'-0"

EQUIPMENT LEGEND -

- ☉ WALL OR CEILING MOUNTED ILLUMINATED EXIT SIGN
- F.E. FIRE EXTINGUISHER SEMI-RECESSED CABINET W/ MIN 2A-10BC SEE NOTE 3 SHEET G5.0-1 AND DET 11/A6.02
- F.E. FIRE EXTINGUISHER SURFACE MOUNTED CABINET W/ MIN 2A-10BC SEE
- P DESIGNATES A PROTECTED OPENING BY WATER CURTAIN PER SECTION 705.8.2
- ⚡ EVSE (ELECTRICAL VEHICLE SUPPLY EQUIPMENT) 200/240 V 40 A
- ⚡ ELECTRICAL METER
- ⚡ ELECTRICAL SUB-PANEL

WALL LEGEND

- 3-HR DIVISION WALL SEE SHEET A6.06
- 2-HR WALL SEE SHEET A6.05
- 1-HR WALL SEE SHEET A6.04
- 1-HR PARTY WALL SEE SHEET A6.04
- INTERIOR NONRATED WOOD WALL
- 10" CMU WALL W/ FIBER CEMENT SIDING SEE SHEET A6.07
- 10" CMU WALL SEE STRUCTURAL PLANS
- 8" CMU WALL SEE STRUCTURAL PLANS

① LEVEL 5
1/8" = 1'-0"

MAIN STREET



ENVIROTECTURE
Architecture - Planning - Interior Design

3600 Wilshire Blvd suite 1402
Los Angeles, CA 90010
Tel: 213.382.1210 Fax: 213.382.1285

ARCHITECT
Name: John Poindexter
Firm: Envirostructure, Inc.
Address: 3600 Wilshire Boulevard Suite 1402 Los Angeles, California 90010
Phone: 1.213.382.1210
Fax: 1.213.382.1285
E-mail: john@envirostructureinc.com

STRUCTURAL ENGINEER
Name: Vahe Kerdjian, P.E.
Firm: KCE Matrix, Inc.
Address: 1112 W. Burbank Boulevard Suite 301 Burbank, California 91506
Phone: 1.818.559.5500
Fax: 1.818.559.5511
E-mail: Vahe@kcematrixinc.com

MECHANICAL ENGINEER
Name: Serge Davlokhanian
Firm: Alphas Engineering Consultants
Address: 11517 Burbank Boulevard North Hollywood, California 91601
Phone: 818-980-7583
E-mail: sdavlokhanian@alpaglobal.net

ELECTRICAL ENGINEER
Name: Henry Abrari, P.E.
Firm: Abrari & Associates Consulting Electrical Engineers
Address: 1713 Standard Avenue Glendale, California 91201
Phone: 1.818.956.1900
Fax: 1.818.407.0330
E-mail: mail@abrari.com

LANDSCAPE ARCHITECT
Name: Shelley Sparks
Firm: Harmony Gardens, Inc.
Address: 12224 Addison Street Valley Village, California 91607
Phone: 1.818.505.3763
Fax: 1.818.760.7558
E-mail: Shelley@HarmoniYGardens.net

SURVEYOR
Name: Neil Hansen
Firm: N.C. Hansen, Inc.
Address: 1545 Victory Boulevard, 2nd Floor Glendale, California 91201
Phone: 1.747.215.6567

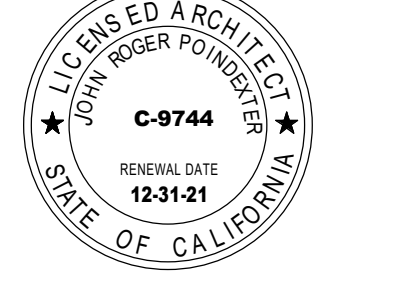
GEOTECHNICAL ENGINEER
Name: Juan A. Vidali
Firm: A.G.I. GEOTECHNICAL INC
Address: 16555 Sherman Way, Suite A Van Nuys, CA 91406
Phone: 818-240-4500
Cell: 818-384-0410
E-mail:

CIVIL ENGINEER
Name: Serge Adamian, PE, CEM
Firm: Ecotrade, Inc.
Address:
Phone: 818-240-4500
Cell: 818-384-0410
E-mail: serge_adamian@aboglobal.net

OWNER
Name: SIOF 4 Properties LLC
Address: 8629 S. Vermont Avenue Los Angeles, California 90044
Phone: 1.323.306.6546
E-mail: aydin@siofimpact.com

No.	Revisions	Date

SoLa IMPACT - MAIN STREET CD02
11630-11640 South Main Street, Los Angeles, California 90061



5TH FLOOR PLAN

Project number: 1918 CD03
Date: 08/31/2020
Drawn by: Author
Checked by: Checker

A2.05

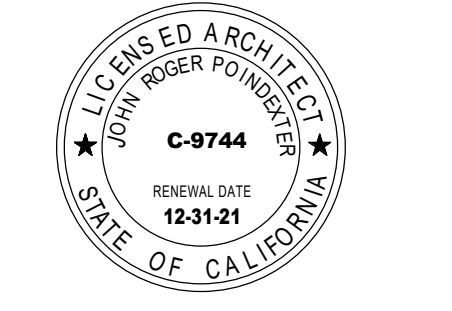
Scale: 1/8" = 1'-0"

8/31/2020 3:12:24 PM

No.	Revisions	Date

SoLa IMPACT - MAIN STREET CD02

11630-11640 South Main Street, Los Angeles, California 90061

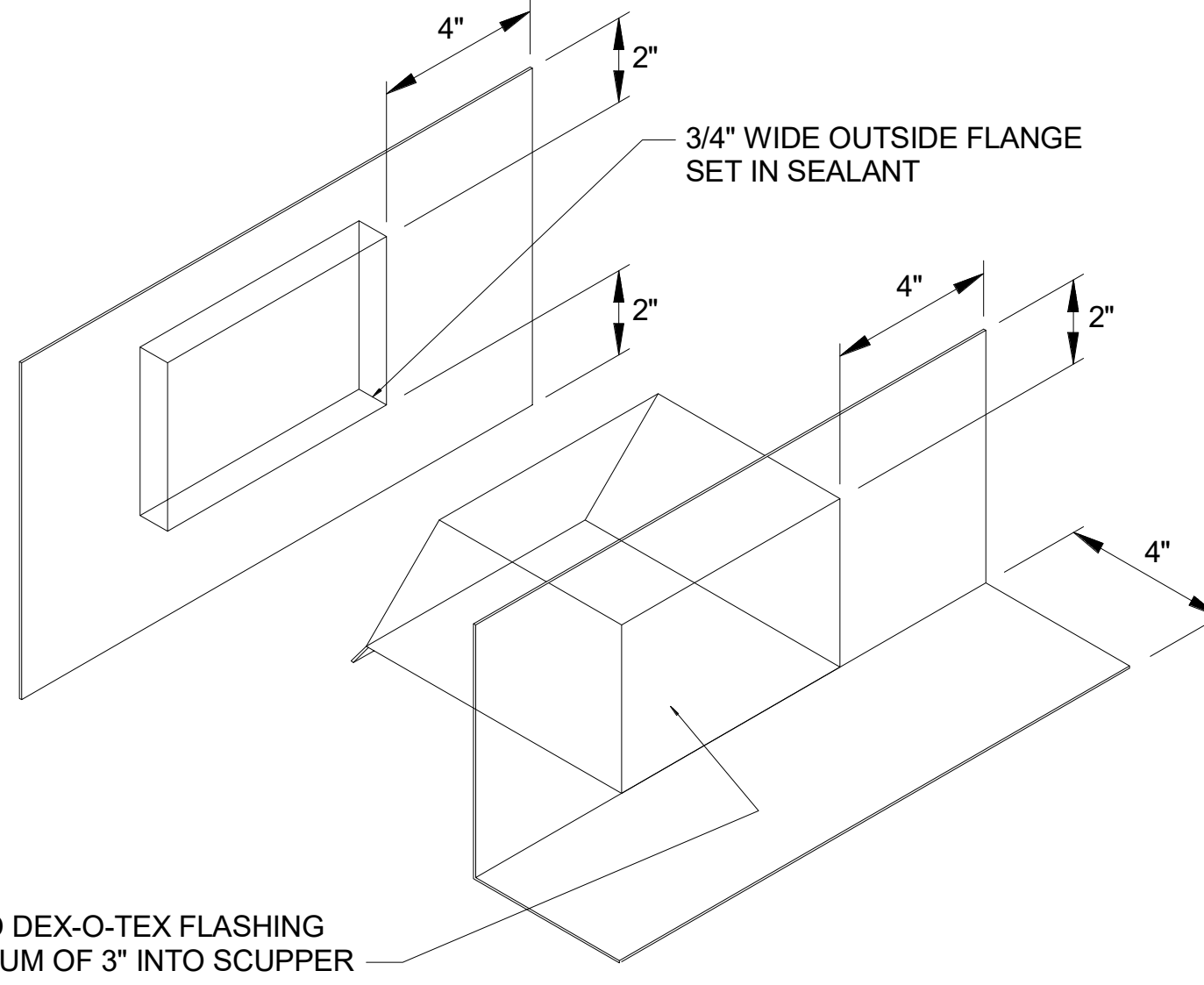


6TH FLOOR PLAN

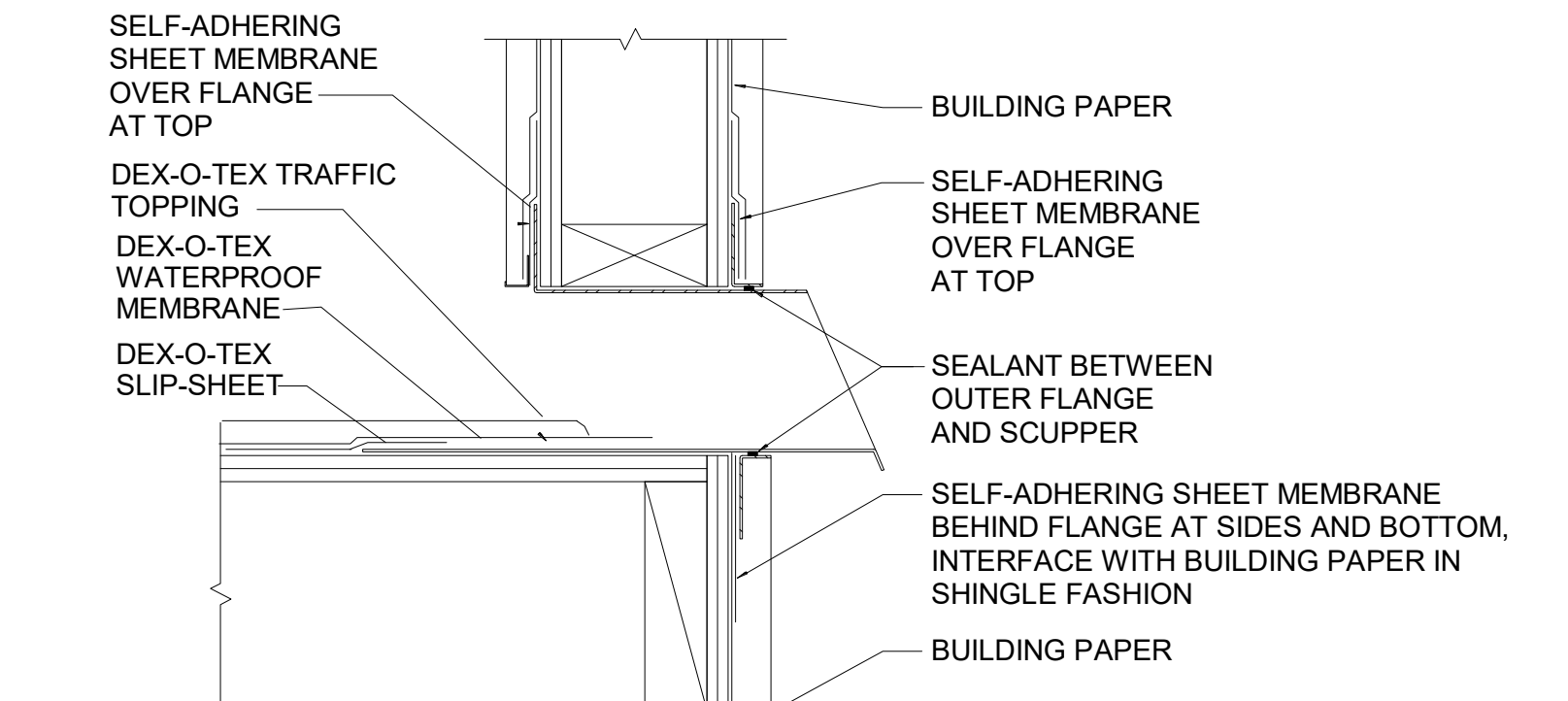
Project number 1918 CD03
Date 08/31/2020
Drawn by Author
Checked by Checker

A2.06

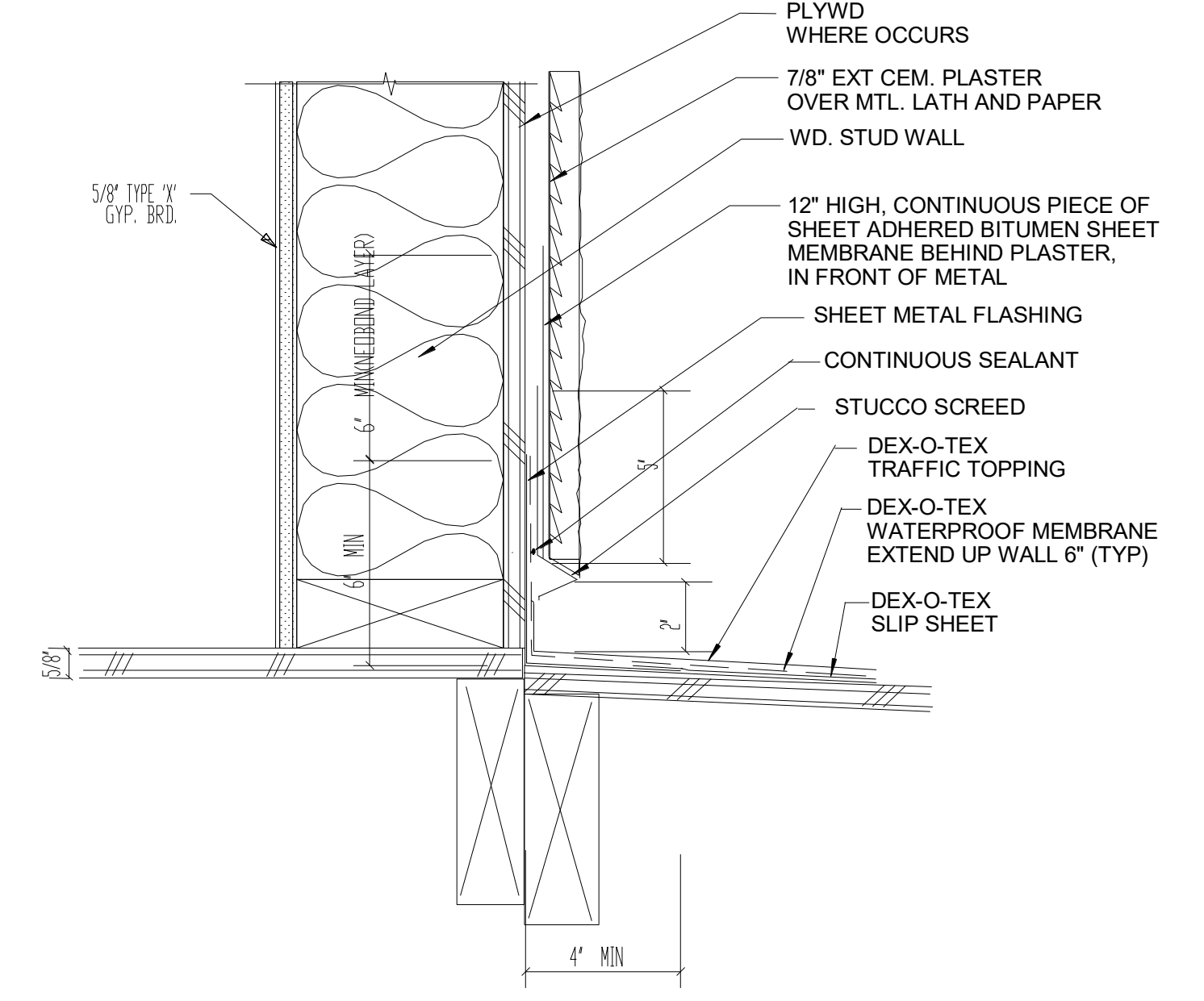
Scale As indicated



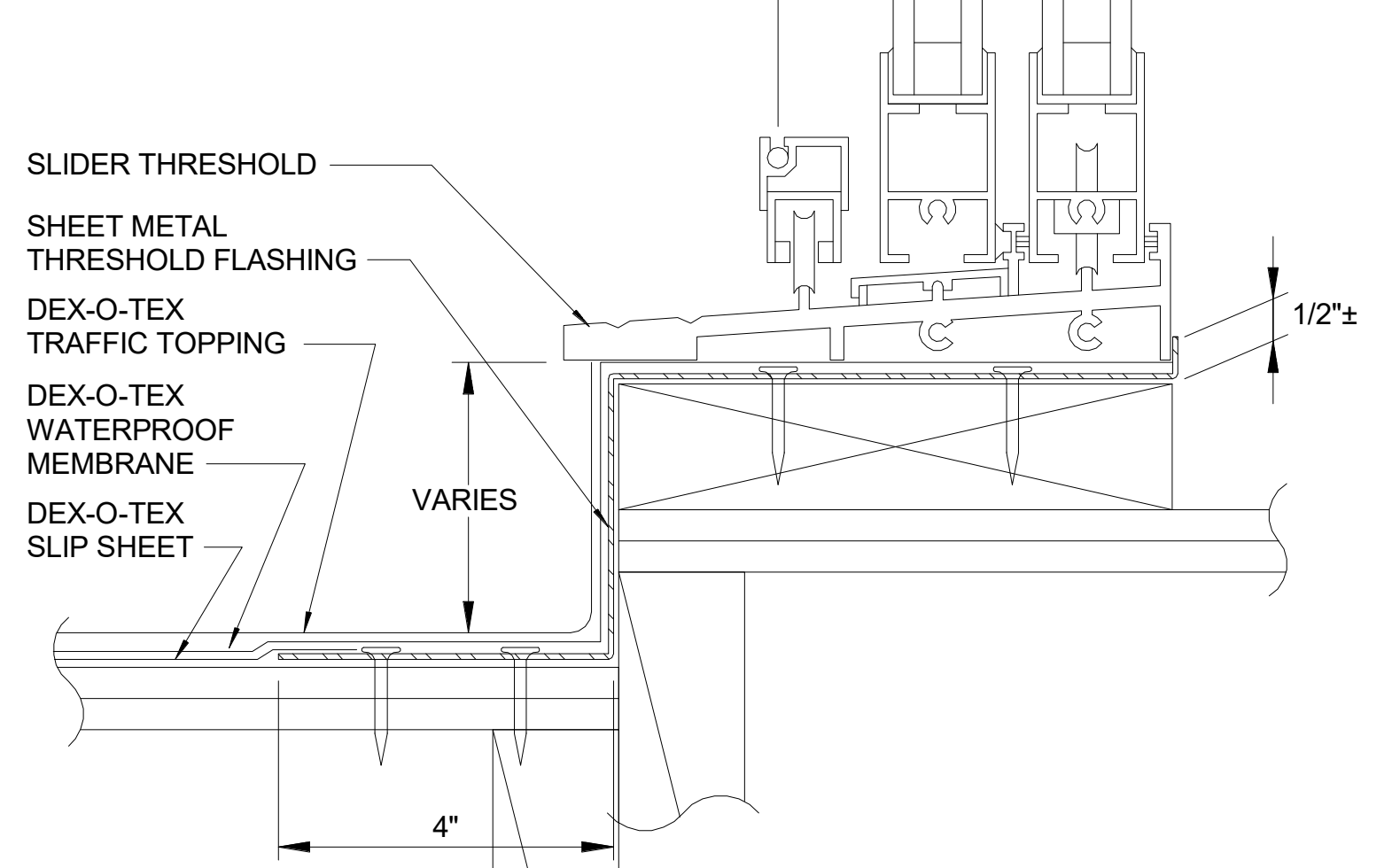
④ SCUPPER @ DECK
3" = 1'-0"



⑤ SCUPPER INSTALLATION @ DECK
3" = 1'-0"



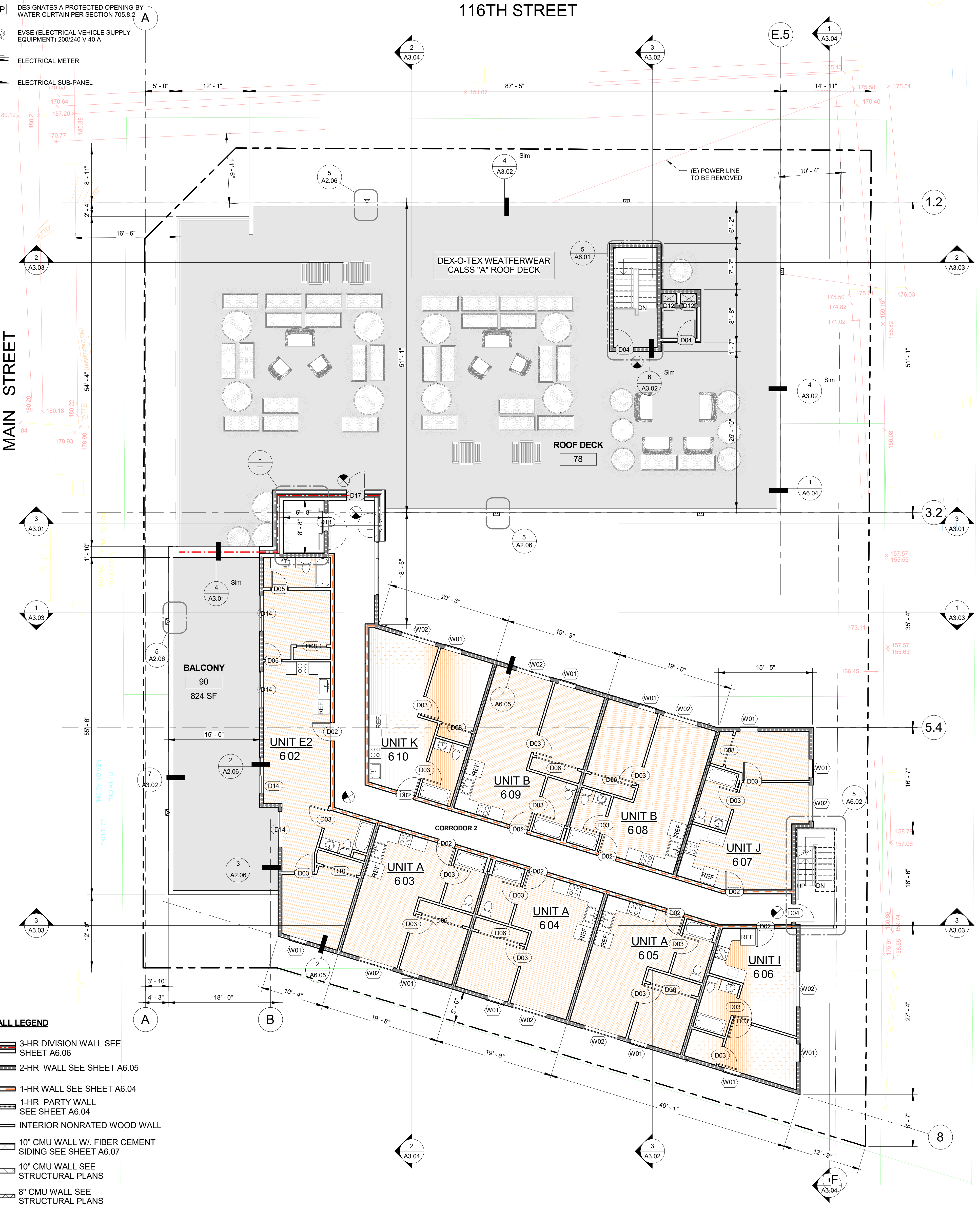
③ DECK TO WALL @ WOOD FLOOR
3" = 1'-0"



② FLASHING @ SLIDER
6" = 1'-0"

- EQUIPMENT LEGEND -**
- WALL OR CEILING MOUNTED ILLUMINATED EXIT SIGN
 - F.E. FIRE EXTINGUISHER SEMI - RECESSED CABINET W/ MIN 2A - 10BC SEE NOTE 3 SHEET G5.0-1 AND DET 11/A6.02
 - F.E. FIRE EXTINGUISHER SURFACE MOUNTED CABINET W/ MIN 2A - 10BC SEE
 - P DESIGNATES A PROTECTED OPENING BY WATER CURTAIN PER SECTION 705.8.2
 - EVSE (ELECTRICAL VEHICLE SUPPLY EQUIPMENT) 200/240 V 40 A
 - ELECTRICAL METER
 - ELECTRICAL SUB-PANEL

- WALL LEGEND**
- 3-HR DIVISION WALL SEE SHEET A6.06
 - 2-HR WALL SEE SHEET A6.05
 - 1-HR WALL SEE SHEET A6.04
 - 1-HR PARTY WALL SEE SHEET A6.04
 - INTERIOR NONRATED WOOD WALL
 - 10" CMU WALL W/ FIBER CEMENT SIDING SEE SHEET A6.07
 - 10" CMU WALL SEE STRUCTURAL PLANS
 - 8" CMU WALL SEE STRUCTURAL PLANS



8/31/2020 3:12:30 PM

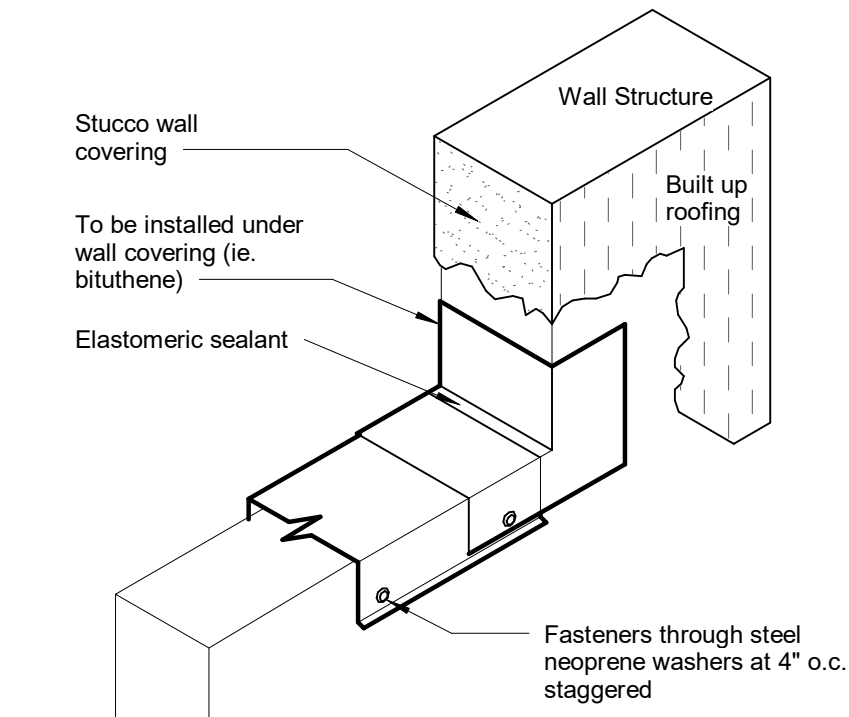
ROOFING SCHEDULE			
Layers	Material	Manufacturer & Catalog No.	Comments
ROOF #1			
1 Layer	SBS Modified All-Purpose Roofing Underlayment	Johns Manville APP Fiberglass Reinforced Base	Install 2 Layers @ Valleys & Crickets Class A - Fire Retardant ICC-ESR-2852
1 Layer	Single surface, mechanically applied cap sheet	Johns Manville APP 4.5M FR CR G Polyester-reinforced, Mineral-surfaced, Fire Retardant, Cool Roof Cap Sheet	

NOTE:

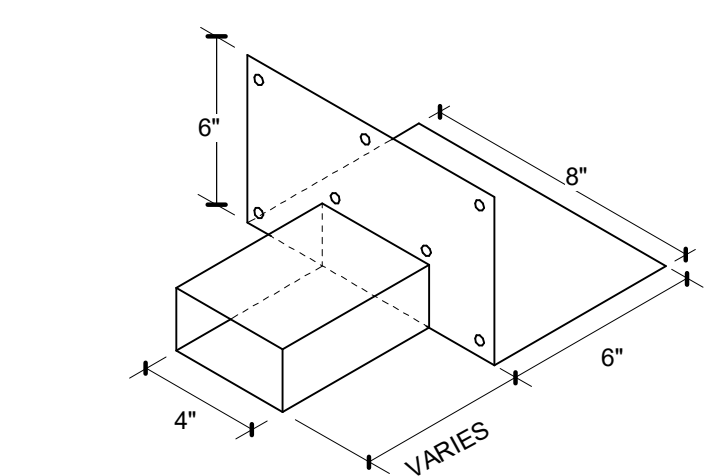
- Low sloped roof areas (i.e. Roof #1) shall be rated as "cool roof" (i.e. have a SRI value of at least 75 or both a 3-year solar reflectance of at least 0.62 and a thermal emittance of at least 0.75). The above listed roofing complies with these specifications. Any substitution shall be approved by the Architect.
- Medium sloped roof areas with Roofing Shingles (i.e. Roof #2) shall be rated as "cool roof" (i.e. have a SRI value of 16 or both a 3-year solar reflectance of at least 0.20 and a thermal emittance of at least 0.75). The above listed roofing complies with these specifications. Any substitution shall be approved by the Architect.
- See Sheet A2.05 for roofing data sheet.

ROOF NOTES:

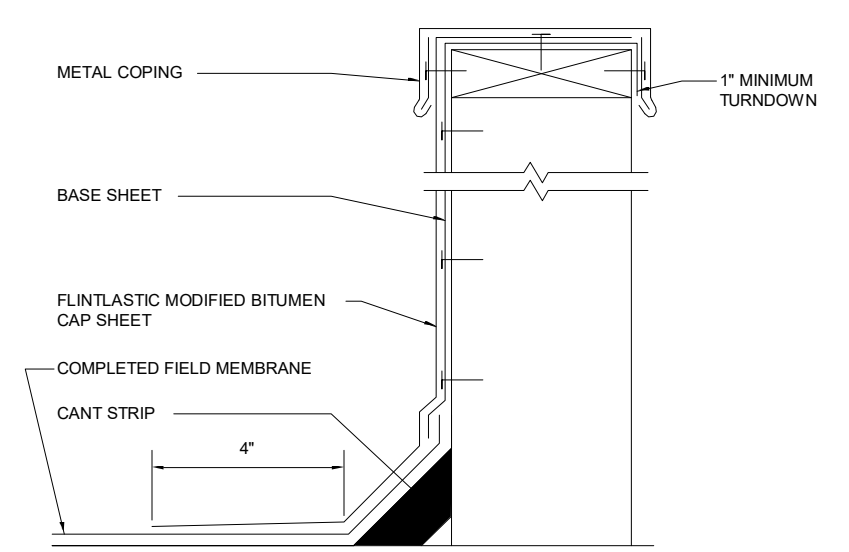
- The solar zone shall be free of obstructions and be setback at least two times the height of any obstruction, including but not limited to, vents, chimneys, equipment, parapets, and stairwells.
- For roof slopes $\leq 2:12$, a minimum 4-foot center line axis pathway shall be provided on both axes of the roof.
- For roof slopes $\leq 2:12$, a minimum 4-foot straight line pathway shall be provided from the access path to roof standpipes, roof access hatches, skylights and/or ventilation hatches.
- For roof slopes $\leq 2:12$, the solar zone shall allow for a (6-foot) (4-foot) wide clear perimeter access around the edges of the roof.
- A copy of the construction documents or a comparable document indicating the information from Energy Code Sections 110.10(b) through 110.10(c) shall be provided to the occupant.



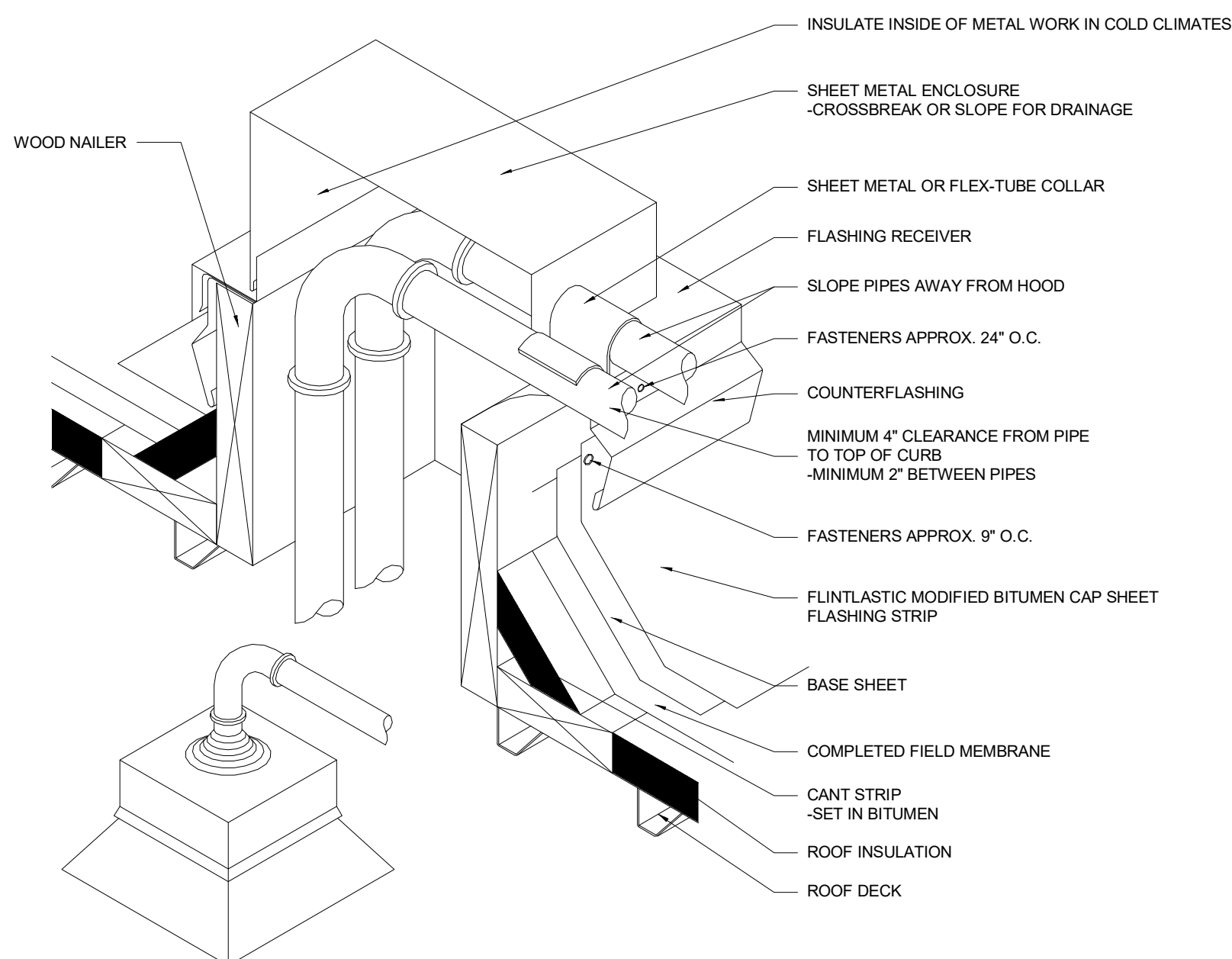
5 COPING WALL TRANSITION
N.T.S.



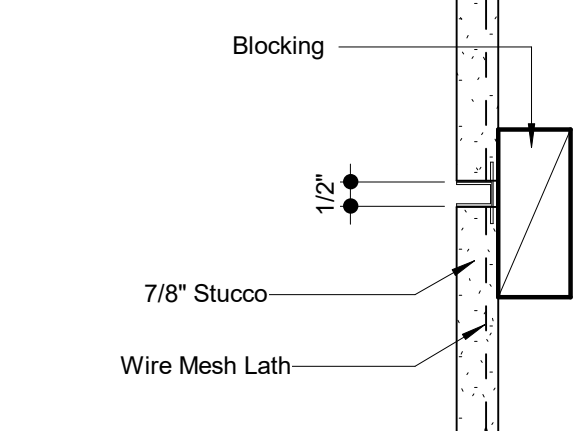
6 SCUPPER METAL WORK
N.T.S.



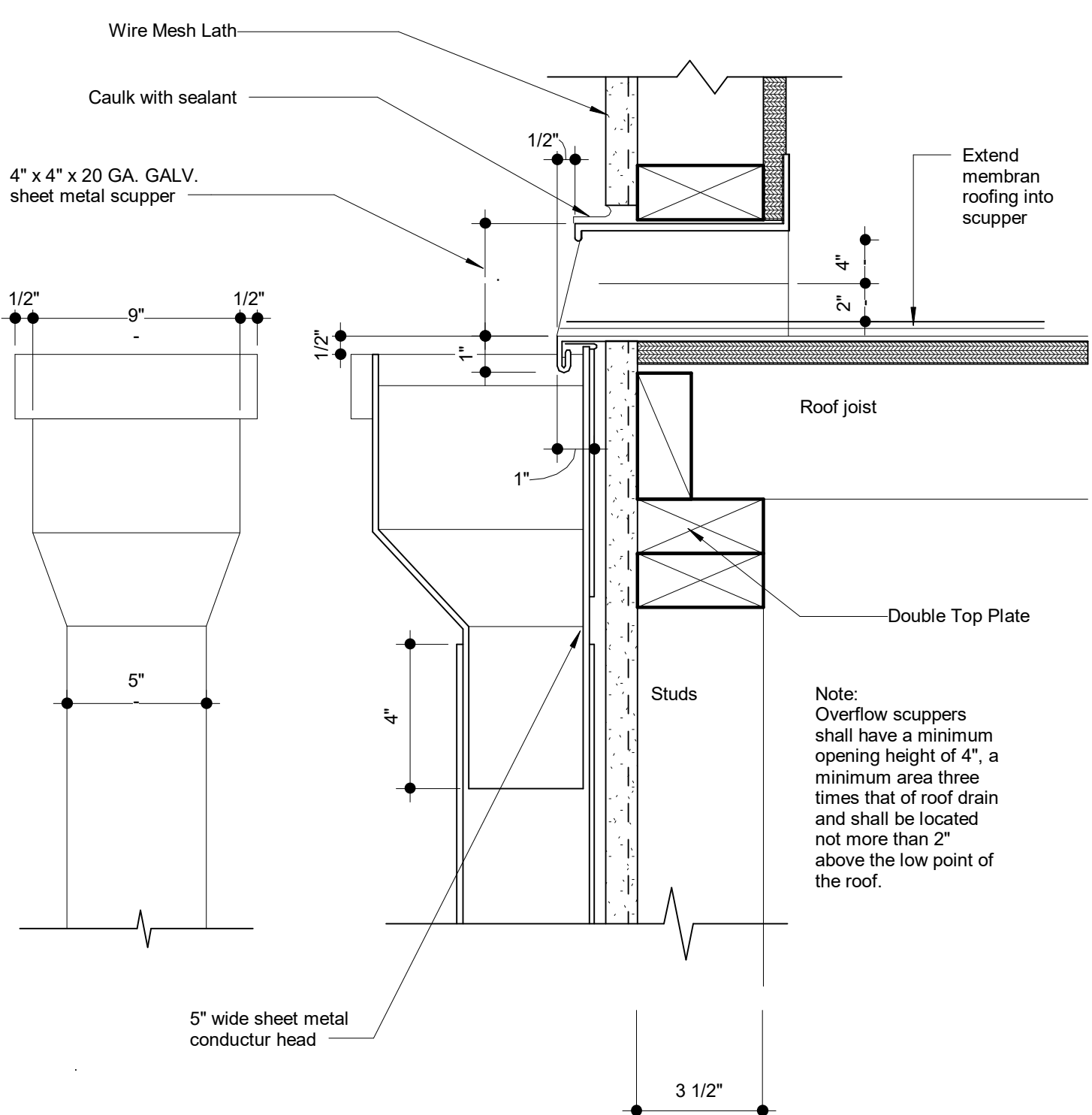
7 BASE FLASHING
3" = 1'-0"



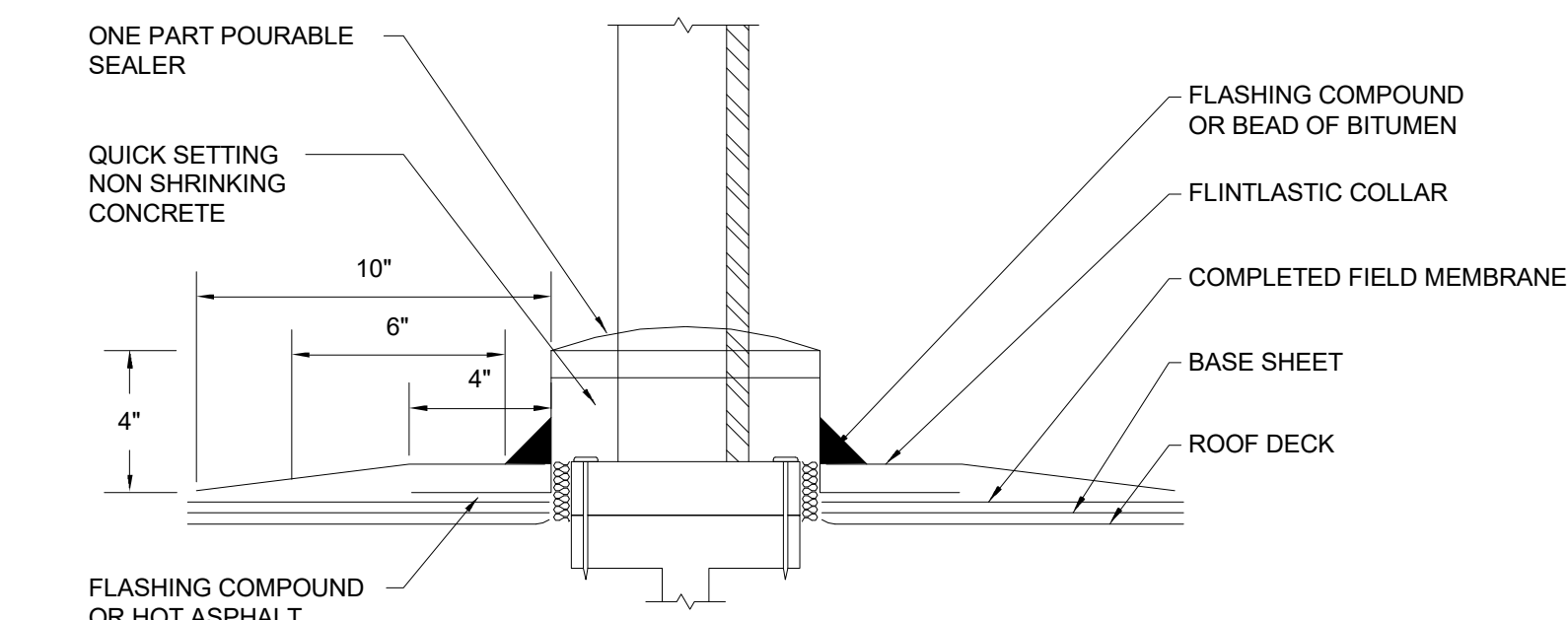
8 MULTIPLE PIPE
N.T.S.



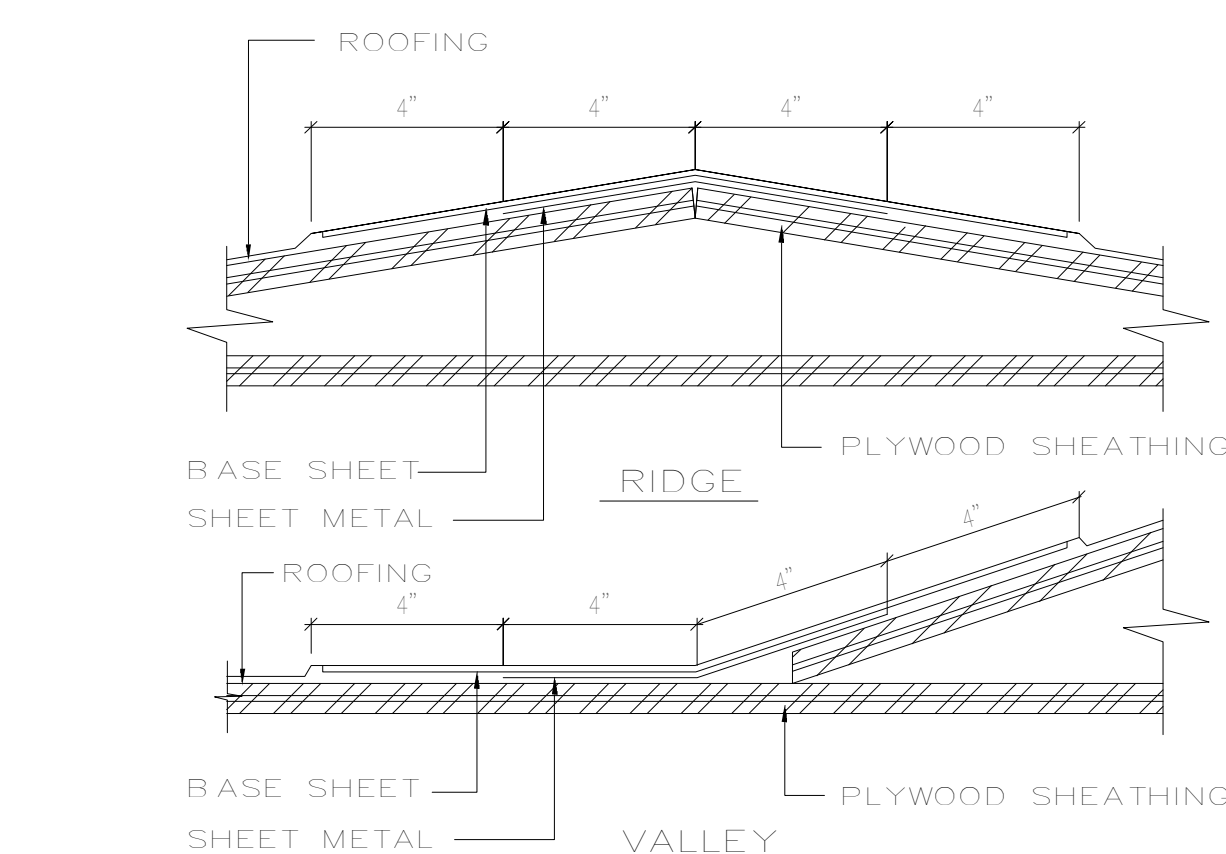
9 PLASTER CONTROL JOINT
3" = 1'-0"



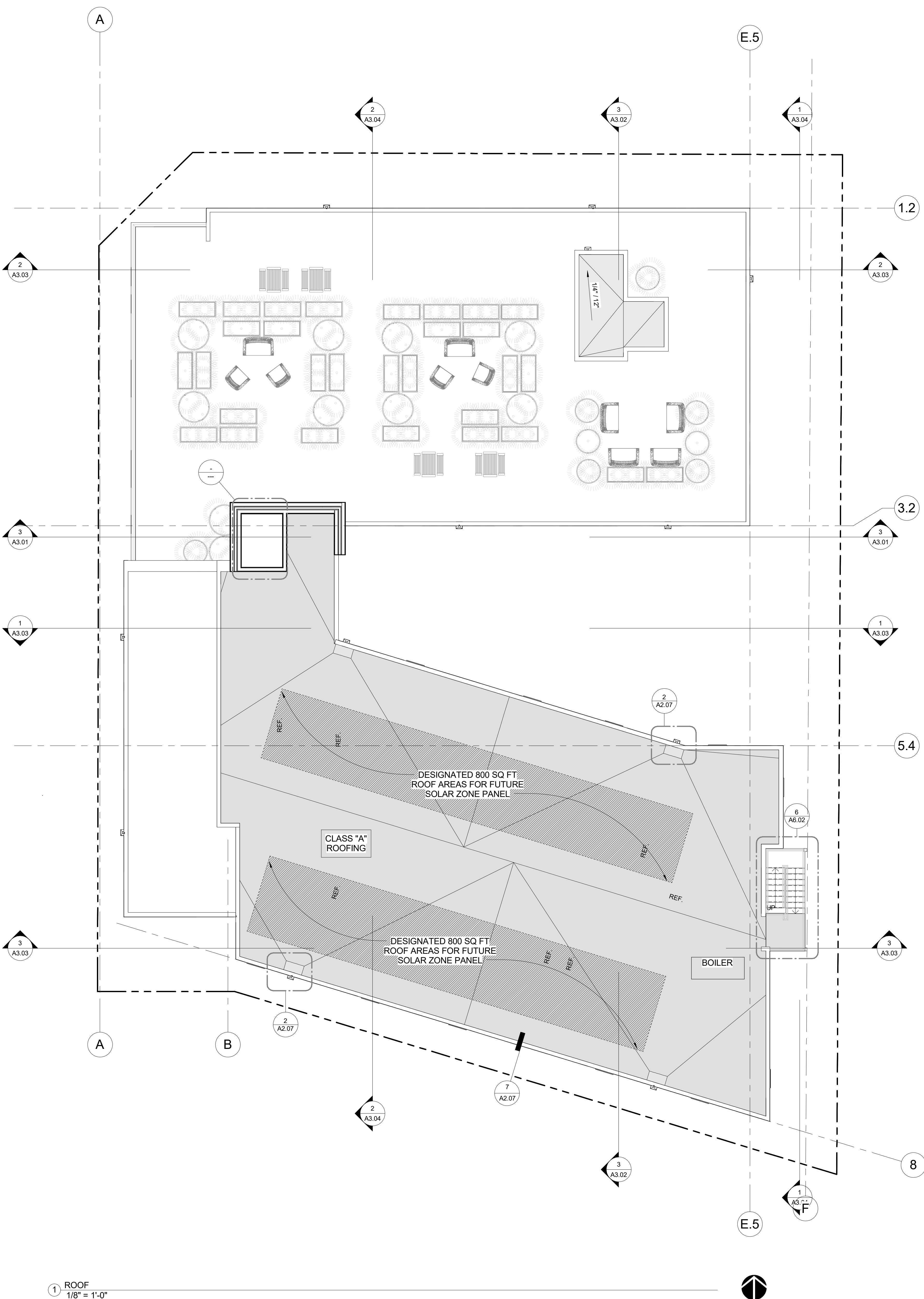
2 SCUPPER & OVERFLOW
3" = 1'-0"



3 FLASHING PAN
3" = 1'-0"



4 CRICKET DETAIL
N.T.S.



1 ROOF
1/8" = 1'-0"

Architecture - Planning - Interior Design

3600 Wilshire Blvd suite 1402
Los Angeles, CA 90010
Tel: 213.382.1210 Fax: 213.382.1285

ARCHITECT
 Name: John Poindexter
 Firm: EnviroTECTURE, Inc.
 Address: 3600 Wilshire Boulevard Suite 1402 Los Angeles, California 90010
 Phone: 1.213.382.1210
 Fax: 1.213.382.1285
 E-mail: john@enviroTECTUREinc.com

STRUCTURAL ENGINEER
 Name: Vahe Karadjian, P.E.
 Firm: KCE Matrix, Inc.
 Address: 1112 W. Burbank Boulevard Suite 301 Burbank, California 91506
 Phone: 1.818.559.5500
 Fax: 1.818.559.5511
 E-mail: Vahe@kcematrixinc.com

MECHANICAL ENGINEER
 Name: Serge Davolokhanian
 Firm: Arplus Engineering Consultants
 Address: 11517 Burbank Boulevard North Hollywood, California 91601
 Phone: 818-980-7583
 E-mail: sdavolok@arpluseng.com

ELECTRICAL ENGINEER
 Name: Henry Abrari, P.E.
 Firm: Abrari & Associates Consulting Electrical Engineers
 Address: 1713 Standard Avenue Glendale, California 91201
 Phone: 1.818.956.1900
 Fax: 1.818.497.9330
 E-mail: mail@abrari.com

LANDSCAPE ARCHITECT
 Name: Shelley Sparks
 Firm: Harmony Gardens, Inc.
 Address: 12224 Addison Street Valley Village, California 91607
 Phone: 1.818.505.9763
 Fax: 1.818.760.7558
 E-mail: Shelley@Harmonygardens.net

SURVEYOR
 Name: Neil Hansen
 Firm: N.C. Hanson, Inc.
 Address: 1545 Victory Boulevard, 2nd Floor Glendale, California 91201
 Phone: 1.747.215.6987

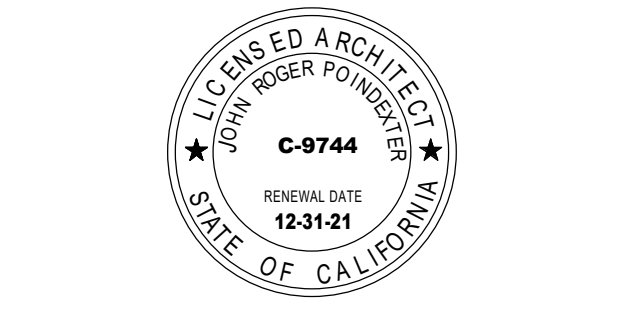
GEOTECHNICAL ENGINEER
 Name: Juan A. Vidua
 Firm: A.S.I. GEO-TECHNICAL INC.
 Address: 16555 Sherman Way, Suite A Van Nuys, CA 91406
 Tel: 818-240-4500
 Cell: 818-384-0410

CIVIL ENGINEER
 Name: Serge Adamián, PE, CEM
 Firm: EcoTrade, Inc.
 Address: Ecotrade, Inc.
 Phone: Tel: 818-240-4500
 Cell: 818-384-0410
 E-mail: serge_adamian@saboglobal.net

OWNER
 Name: SIOF 4 Properties LLC
 Address: 8629 S. Vermont Avenue Los Angeles, California 90044
 Phone: 1.323.306.4648
 E-mail: aydin@siofimpact.com

No.	Revisions	Date

SoLa IMPACT - MAIN STREET CD02
 11630-11640 South Main Street, Los Angeles, California 90061



ROOF PLAN

Project number: 1918 CD03
 Date: 08/31/2020
 Drawn by: Author
 Checked by: Checker

A2.07

Scale: As indicated

8/31/2020 3:12:35 PM

ARCHITECT
Name: John Poinster
Firm: Environmental Inc.
Address: 5000 Wilshire Boulevard
Suite 1402
Los Angeles, California 90010
1.213.382.1216
1.213.382.1326
enviro@enviroecture.com

STRUCTURAL ENGINEER
Name: Vitor A. Karam, P.E.
Firm: KCE Martin, Inc.
Address: 1112 W. Burbank Boulevard
Suite 201
Burbank, California 91506
818.259.5500
818.259.5511
vokaram@kceinc.com

MECHANICAL ENGINEER
Name: Serge Davidobson
Firm: The Engineering Consultants
Address: 1131 Burbank Boulevard
North Hollywood, California 91601
Phone: 818.282.7183
Email: jacob@theec.com

ELECTRICAL ENGINEERING
Name: Henry Abram, P.E.
Firm: Abram & Associates
Address: 7111 Glenhurst Avenue
North Hollywood, California 91605
Phone: 818.995.1800
818.497.0200
mh@abram.com

LANDSCAPE ARCHITECT
Name: Charles Spack
Firm: Harmony Gardens, Inc.
Address: 10224 Ardmore Street
Van Nuys, California 91411
Phone: 818.765.7558
Email: charles@harmonygardens.net

SURVEYOR
Name: Neil Friedman
Firm: N.C. Hansen, Inc.
Address: 1648 Vermont Boulevard, 2nd Floor
Glendale, California 91201
Phone: 818.245.9607
Email: neil@nc-hansen.com

GEOTECHNICAL ENGINEER
Name: Juan A. Vial
Firm: A.G.S. GEOTECHNICAL, Inc.
Address: 10226 Sherman Way, Suite A
Van Nuys, CA 91411
Phone: 818.765.2111
Email: jav@ags.com

CIVIL ENGINEER
Name: Serge Adamian, PE, CEM
Firm: Ecostyle
Address: 2310 GARDNER PL
GLENNDALE, CA 91206
Phone: 818.242-2200
Fax: 818.242-4410
Email: serge_adamian@ecostyle.net

OWNER
Name: SIF 4 Properties LLC
Address: 8026 G. Vermont Avenue
Los Angeles, California 90044
Phone: 310.206.4668
Email: sif4@suprimap.com

No.	Revisions	Date

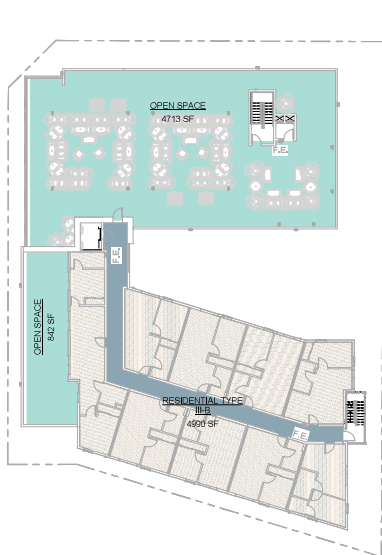
SoLa IMPACT - TRIPLE MAIN STREET
1162B-1164D East Main Street, Los Angeles, California 90001

FLOOR AREA RATIO

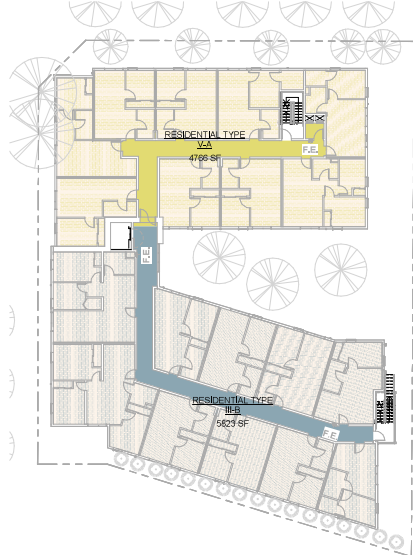
Project number: 1918 CD03
Date: 10/15/2020
Drawn by: Author
Checked by: Checker

A1.02

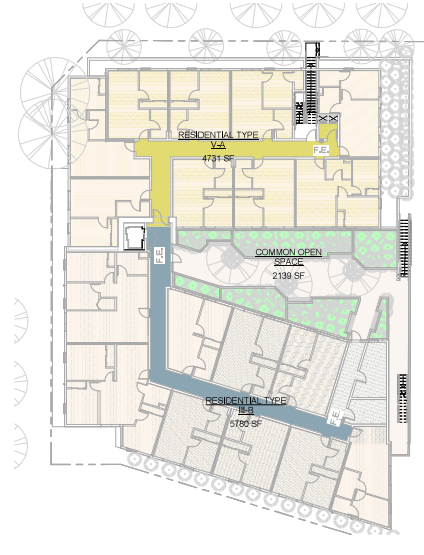
Scale: As indicated



LEVEL 6
1/16" = 1'-0"



LEVEL 3
1/16" = 1'-0"



LEVEL 2
1/16" = 1'-0"

Area Schedule (F.A.R)		
Level	Name	Area
RESIDENTIAL TYPE V-A		
LEVEL 2	RESIDENTIAL TYPE V-A	4731 SF
LEVEL 3	RESIDENTIAL TYPE V-A	4766 SF
LEVEL 4	RESIDENTIAL TYPE V-A	4788 SF
LEVEL 5	RESIDENTIAL TYPE V-A	4792 SF
		19029 SF
RESIDENTIAL TYPE III-B		
LEVEL 2	RESIDENTIAL TYPE III-B	5780 SF
LEVEL 3	RESIDENTIAL TYPE III-B	5823 SF
LEVEL 4	RESIDENTIAL TYPE III-B	5823 SF
LEVEL 5	RESIDENTIAL TYPE III-B	5823 SF
LEVEL 6	RESIDENTIAL TYPE III-B	4690 SF
		28238 SF
PARKING		
LEVEL 1	PARKING	14098 SF
		14098 SF
OPEN SPACE		
LEVEL 6	OPEN SPACE	4733 SF
LEVEL 6	OPEN SPACE	342 SF
		5075 SF
LOBBY		
LEVEL 1	LOBBY	247 SF
		247 SF
COMMON OPEN SPACE		
LEVEL 2	COMMON OPEN SPACE	2139 SF
		2139 SF
		69277 SF

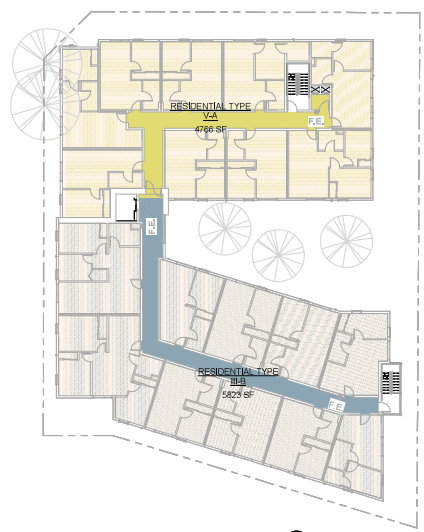
LOT AREA BEFORE DEDICATION: 18,963.6 S.F.
AFTER DEDICATION: 17,468.9 S.F.

FAR BY RIGHT 18,963.6 X 1.5 = 56,890.8 S.F.

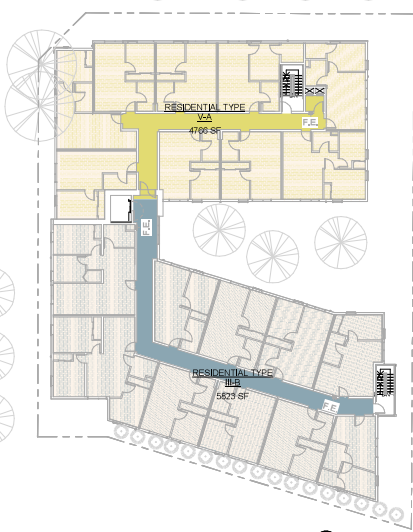
TOC HOUSING INCENTIVE TIER 3, 3.75 FAR 18,963 X 3.75 =

TOTAL ALLOWABLE BUILDABLE: 71,113.5 S.F.

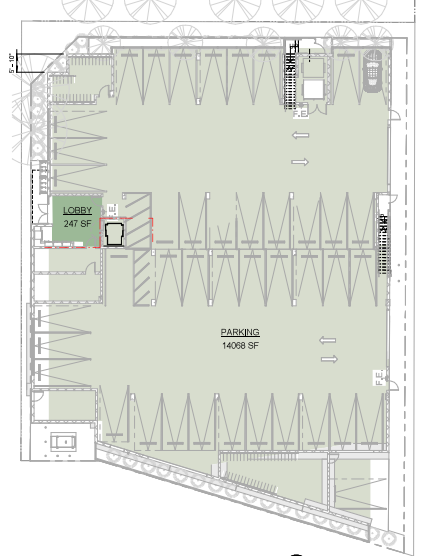
TOTAL PROVIDED: 19,029 + 28,238 + 247 = 47,514 < 71,113.5 ALLOWABLE



LEVEL 5
1/16" = 1'-0"



LEVEL 4
1/16" = 1'-0"



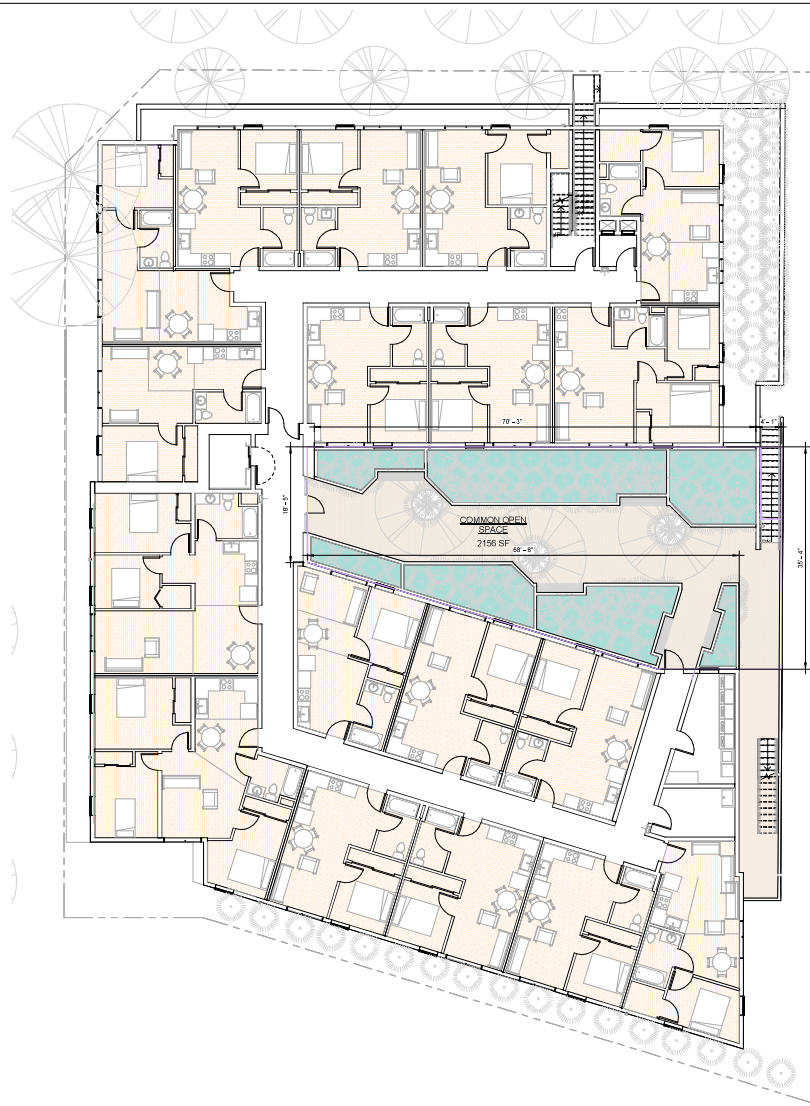
LEVEL 1
1/16" = 1'-0"

MAIN STREET

ALLEY



LEVEL 6
1/8" = 1'-0"



LEVEL 2
1/8" = 1'-0"

OPEN SPACE REQUIRED CD03

			TOTAL REQ.	
MORE THAN 3 HABITABLE RM. (3BR)	4	175	700	
3 HABITABLE RM. (2 BR)	9	125	1125	
LESS THAN 3 HABITABLE RM. (1 BR)	71	100	7100	
			8,925.00	
TOC INCENTIVE REDUCTION	1/4		2231.25	
TOTAL OPEN SPACE REQ. AFTER REDUCTION			6693.75	SQ. FT.
6 LEVEL OPEN SPACE		5043		
6 LEVEL PRIVATE OPEN SPACE		50		
2 LEVEL OPEN SPACE		2156		
TOTAL	SQ. FT.	7,249	6693.75	SQ. FT.



3900 Wilshire Blvd Suite 1402
Los Angeles, CA 90010
Tel: 213.382.1216 Fax: 213.382.1395

ARCHITECT
Name: John Poinmeier
Firm: Environmental Res.
Address: 3000 Wilshire Boulevard
Suite 1402
Los Angeles, California 90010
1.213.382.1375
Phone: 213.382.1395
Fax: 213.382.1395
Email: john@envirotecture.com

STRUCTURAL ENGINEER
Name: Vahid Arslan, P.E.
Firm: K&E Martin, Inc.
Address: 1112 W. Burbank Boulevard
Suite 201
Burbank, California 91506
1.818.259.5500
Phone: 1.818.259.5511
Fax: 1.818.259.5511
Email: vahid@kematinc.com

MECHANICAL ENGINEER
Name: Serge Davidobian
Firm: HCB Engineering Consultants
Address: 11330 Eastern Boulevard
North Hollywood, California 91601
Phone: 818.968.7183
Email: serge@hcbeng.com

ELECTRICAL ENGINEERING
Name: Henry Abron, P.E.
Firm: Abron & Associates
Address: Consulting Electrical Engineers
2111 Van Ness Avenue
San Francisco, California 94133
Phone: 1.818.995.1800
Fax: 1.818.497.0330
Email: haa@abron.com

LANDSCAPE ARCHITECT
Name: Charles Spader
Firm: Harmony Gardens, Inc.
Address: 13224 Acton Street
Valley Village, California 91607
Phone: 818.635.3713
Fax: 818.765.7558
Email: charles@harmonygardens.net

SURVEYOR
Name: Neil Krasman
Firm: R.C. Hanson, Inc.
Address: 1644 Venice Boulevard, 2nd Floor
Culver City, California 91614
Phone: 310.308.6537
Email: nkrasman@rc-hanson.com

GEOTECHNICAL ENGINEER
Name: Juan A. Valdeh
Firm: AGS & ASSOCIATES
Address: 10500 Sherman Way, Suite A
Van Nuys, CA 91411
Phone: 818.706.2111
Email: juan@agsinc.com

CIVIL ENGINEER
Name: Serge Adman, PE, CEM
Firm: ECOSIA
Address: 2310 GARDNER PL
GARDNER, CA 91706
Phone: 916.244.2020
Fax: 916.244.4119
Email: serge_adman@ecosia.net

OWNER
Name: SJZF 4 Properties LLC
Address: 8028 G. Vermont Avenue
Los Angeles, California 90044
Phone: 310.726.4648
Email: sjzf@sjzfp.com

No.	Revisions	Date

SoLA IMPACT - TRIPLE MAIN STREET
11600-11640 South Main Street, Los Angeles, California 90011



USABLE OPEN SPACE

Project number: 1918 CD03
Date: 10/15/2020
Drawn by: AULHOT
Checked by: CHECKER

A1.06

Scale: 1/8" = 1'-0"

10/15/2020 10:32:27 AM

ARCHITECT

Name: John Poinstener
Firm: ENVIOECTURE
Address: 3800 Wilshire Boulevard
Suite 1402
Los Angeles, California 90010
Tel: 213.382.1216
Fax: 213.382.1265
Email: john@envioecture.com

STRUCTURAL ENGINEER

Name: Yeha Karimian, P.E.
Firm: KSE Martin, Inc.
Address: 1172 W. Burbank Boulevard
Suite 301
Burbank, California 91506
Tel: 818.259.5200
Fax: 818.259.5511
Email: Yeha@ksemartin.com

MECHANICAL ENGINEER

Name: Serge Davidchikyan
Firm: HVAC Engineering Consultants
Address: 11511 Burbank Boulevard
North Hollywood, California 91601
Tel: 818.240.7193
Fax: 818.240.8244
Email: sda@hvacengineers.com

ELECTRICAL ENGINEERING

Name: Henry Abram, P.E.
Firm: Abram & Associates
Address: 1711 Glenhurst Avenue
North Hollywood, California 91601
Tel: 818.395.1800
Fax: 818.497.0330
Email: mh@abram.com

LANDSCAPE ARCHITECT

Name: Chukwu Okere
Firm: Harmony Gardens, Inc.
Address: 12224 Ardmore Street
Valley Village, California 91607
Tel: 818.355.8793
Fax: 818.760.7556
Email: chukwu@harmonygardens.net

SURVEYOR

Name: Neil Herndon
Firm: R.C. Hanson, Inc.
Address: 1654 Venice Boulevard, 2nd Floor
Culver City, California 91501
Tel: 310.215.9907
Email: neil@rcanson.com

GEOTECHNICAL ENGINEER

Name: Juan A. Vakil
Firm: AVS CONSULTING INC.
Address: 10925 Sherman Way, Suite A
Van Nuys, CA 91418
Tel: 818.706.5200
Fax: 818.706.2211
Email: jvakil@avs.com

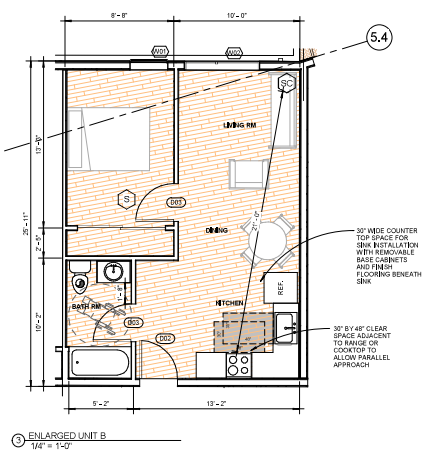
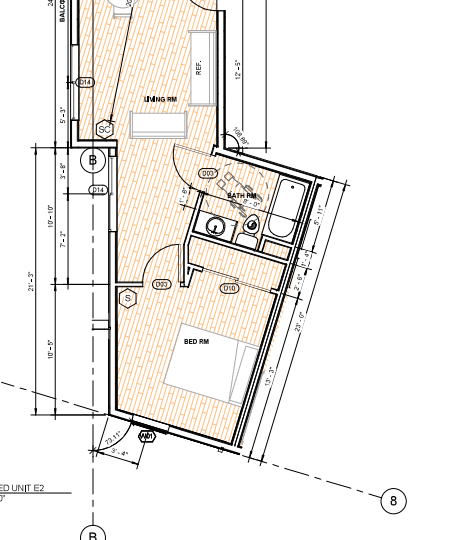
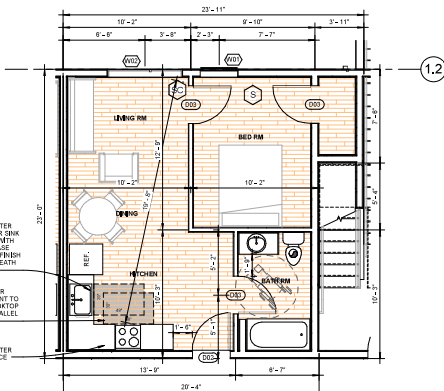
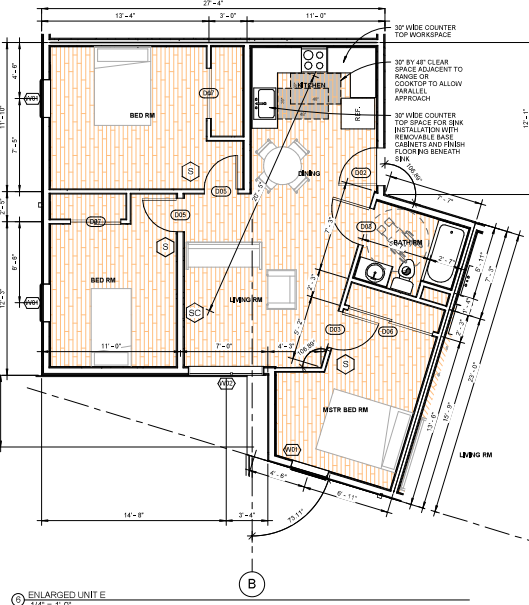
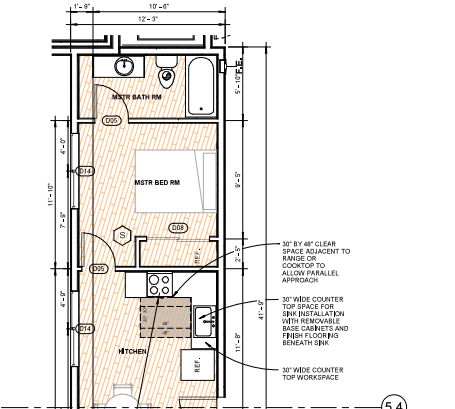
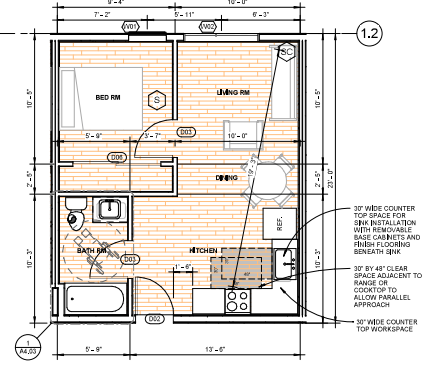
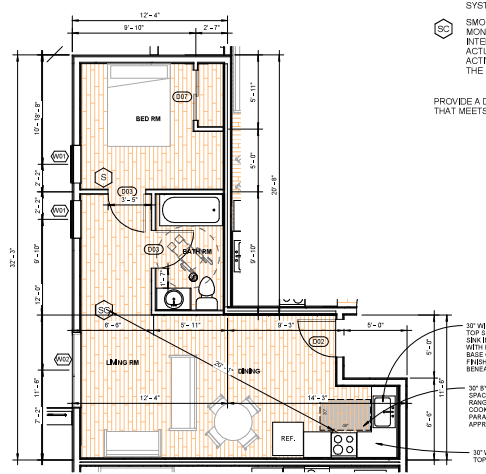
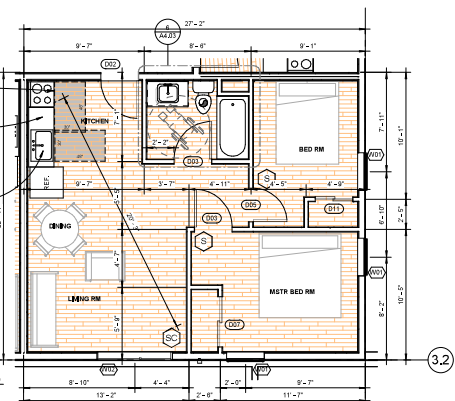
CIVIL ENGINEER

Name: Serge Adamian, PE, CEM
Firm: S&B CONSULTING
Address: 2310 GARFIELD PL
GLENDALE, CA 91206
Tel: 818.244.4500
Fax: 818.244.4419
Email: serge_adamian@sabconsult.com

OWNER

Name: SHF 4 Properties LLC
Firm: RICE CL, General Avenue
Address: Los Angeles, California 90064
Tel: 323.266.4568
Email: syfr@ricecl.com

- EQUIPMENT LEGEND - INSIDE UNIT**
- EXHAUST FAN, ENERGY STAR RATED WITH HUMIDISTAT CONTROLLED, CAPABLE OF 50 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE
 - EXHAUST FAN, WITH ENERGY STAR RATED ONLY
 - SMOKE DETECTOR, HARD WIRED WITH BATTERY BACKUP, CONNECTED TO SMOKE ALARM SYSTEM
 - SMOKE DETECTOR & CARBON MONOXIDE ALARM COMBINED WITH INTERCONNECTED SYSTEM (ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT).
- PROVIDE A DISHWASHER AND REFRIGERATOR THAT MEETS OR EXCEEDS THE ENERGY STAR



No.	Revisions	Date

SolA IMPACT - TRIPLE MAIN STREET
1162A-1164I South Main Street, Los Angeles, California 90001

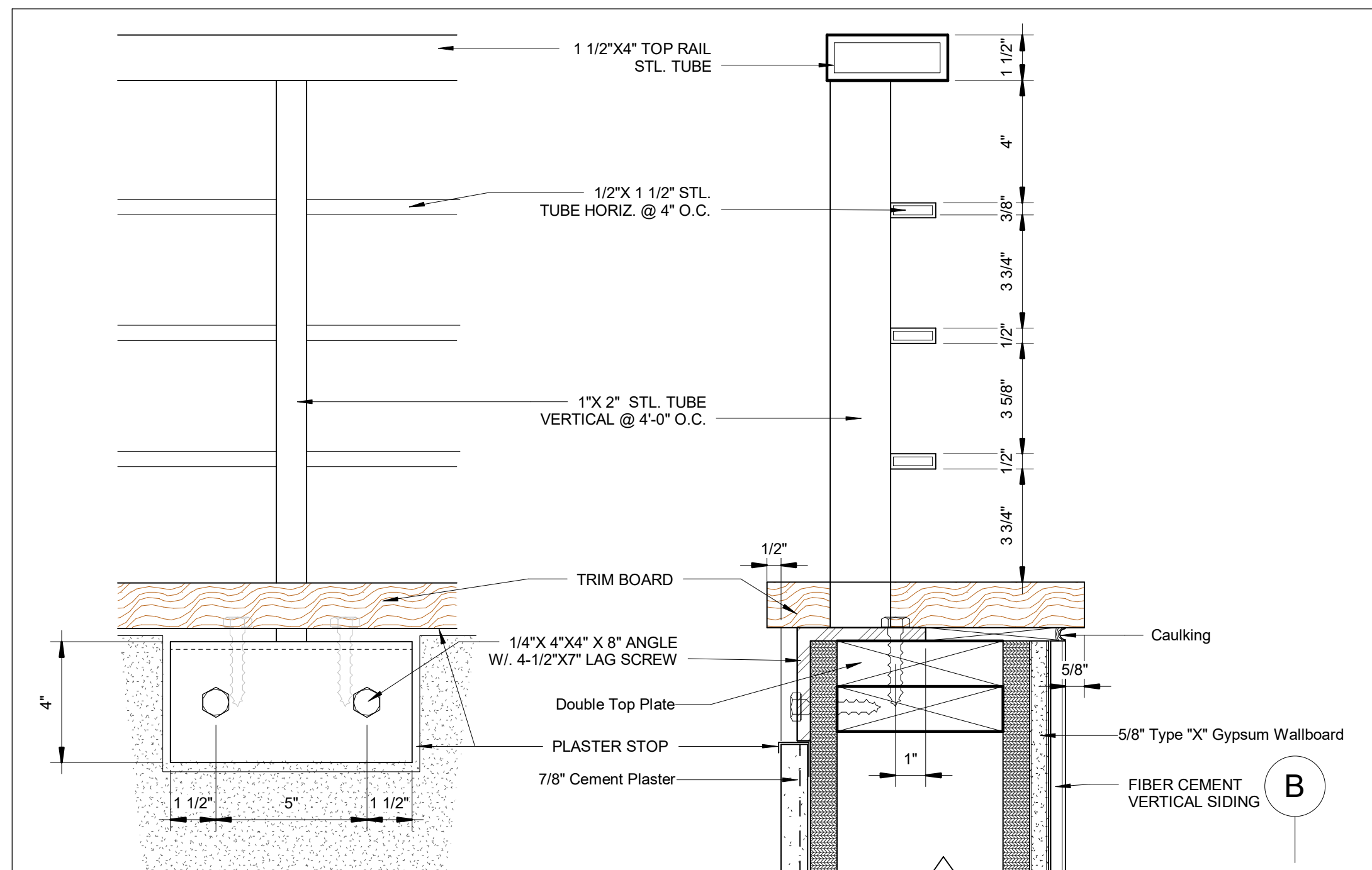


UNIT ENLARGEMENTS

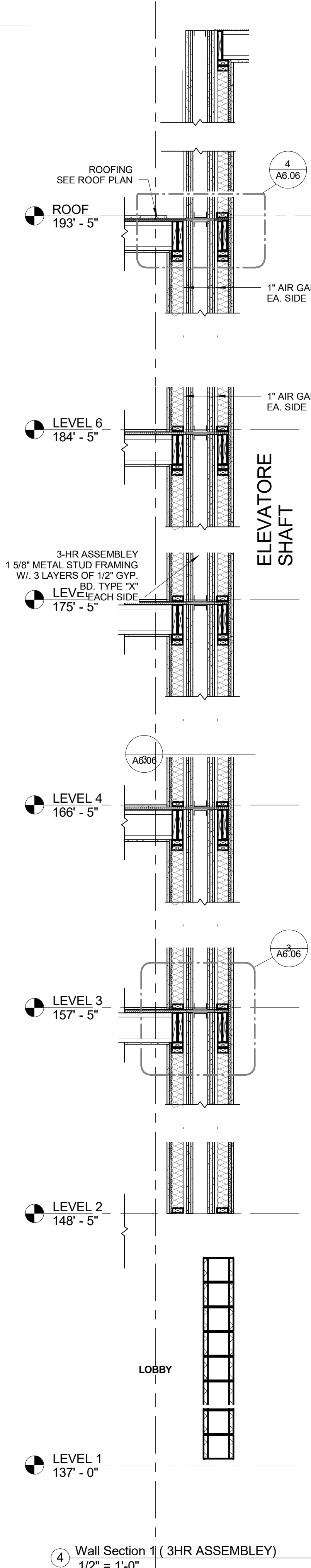
Project number:	1918 CD03
Date:	10/15/2020
Drawn by:	Author
Checked by:	Checker

A4.01

Scale: 1/4" = 1'-0"



6 METAL GUARDRAIL DETAIL
3" = 1'-0"



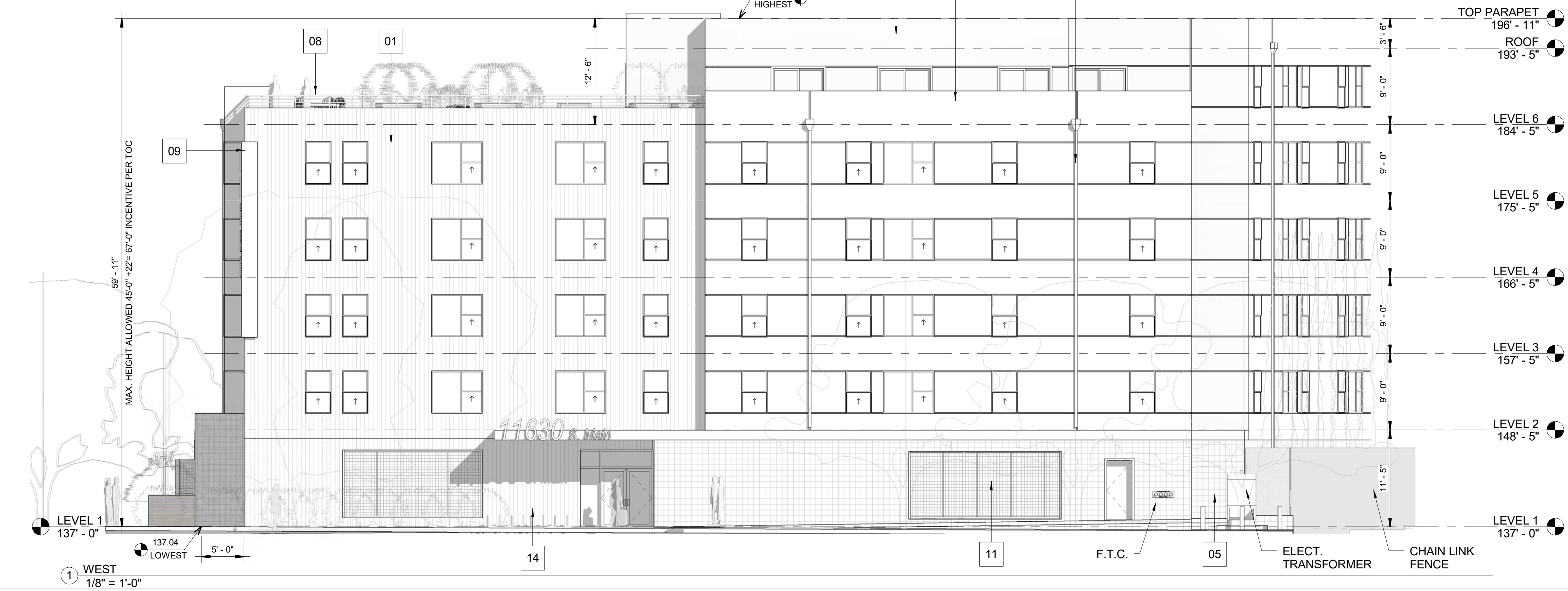
4 Wall Section 1 (3 HR ASSEMBLY)
1/2" = 1'-0"

LEGEND

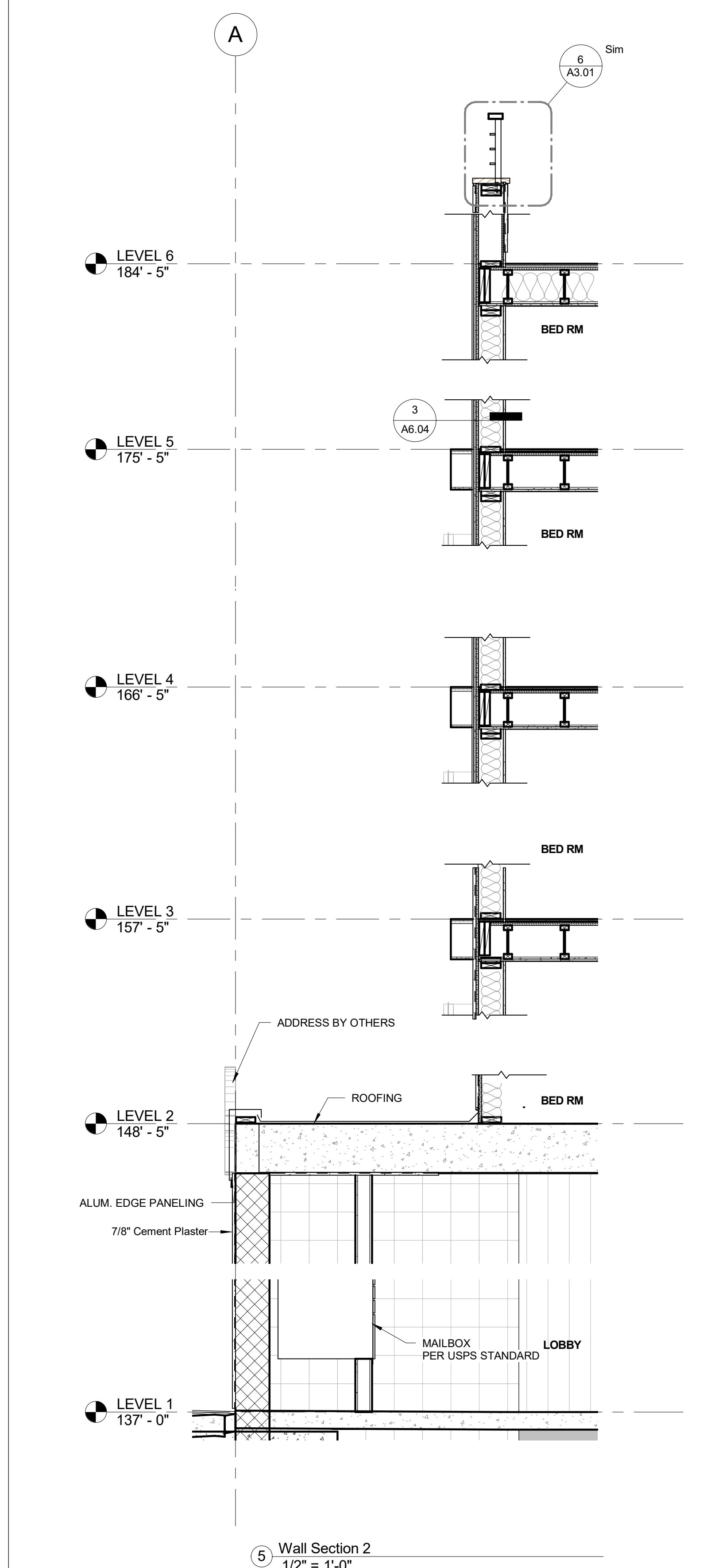
- 01 HARDI PANEL BY JAMES HARDIE
SMOOTH, EVENING BLUE COLOR
- 02 STUCCO BY "LA HABRA"
X-81 OATMEAL BASE 200, SMOOTH FINISH
- 03 STUCCO BY "LA HABRA"
BAY RIDGE 81593 (32) BASE 100, SMOOTH FINISH
- 04 PORCELAIN TILE BY "ARIZONA TILE"
ARCHITECTURAL SERIES, ARCH DARK GRAY
- 05 8X16 CONC. BLOCK BY "ANGELUS BLOCK"
GRAY STONE PRECISION VERTICAL BLOCK.
- 06 1X12 FACIA PAINTED WOOD
DEW380, WHITE BY "DUNN EDWARDS"
- 07 1/4" STUCCO CONTROL JOINT
- 08 PAINTED STEEL GUARDRAIL
DEW390, FIRST SNOW, BY "DUNN EDWARDS"
- 09 BACK LED ADDRESS SIGN
1/16" STEEL PLATE, PAINTED
Burning Tomato, DEA111 RL#200, BY "DUNN EDWARDS"
- 10 STOREFRONT SYSYEM BY "PRL"
450 SERIES
- 11 PERFORATED METAL SCREEN, LATTICE 1653,
Carbon Steel, Cold Rolled, 16 Gauge BY "MONICHOIS"
- 12 VINYL WINDOWS BY "MILGUARD"
Tinted™ Series
- 13 PAINTED METAL FRAME CANOPY SUPPORT
DEW390, FIRST SNOW, BY "DUNN EDWARDS"
- 14 BICYCLE RACK
- 15 3"X4" ALUM. DOWNSPOUT WHITE
- 16 PAINTED STEEL STAIR W/ PAINTED
STEEL GUARDRAIL



3 Section A-A
1/8" = 1'-0"



1 WEST
1/8" = 1'-0"



5 Wall Section 2
1/2" = 1'-0"

3600 Wilshire Blvd suite 1402
Los Angeles, CA, 90010
Tel: 213.382.1210 Fax: 213.382.1285

ARCHITECT
Name: John Poindexter
Firm: Envirotecture, Inc.
Address: 3600 Wilshire Boulevard Suite 1402
Los Angeles, California 90010
Phone: 1.213.382.1210
Fax: 1.213.382.1285
E-mail: john@envirotectureinc.com

STRUCTURAL ENGINEER
Name: Vahne Kardjian, P.E.
Firm: KCE Matrix, Inc.
Address: 11224 Burbank Boulevard Suite 301
Burbank, California 91506
Phone: 1.818.569.5500
Fax: 1.818.559.5511
E-mail: Vahne@kcematrixinc.com

MECHANICAL ENGINEER
Name: Serge Davolokhanian
Firm: Arplus Engineering Consultants
Address: 11517 Burbank Boulevard North Hollywood, California 91601
Phone: 818-980-7583
E-mail: sdavolokhanian@arplus.com

ELECTRICAL ENGINEER
Name: Henry Abrari, P.E.
Firm: Abrari & Associates
Address: 1713 Standard Avenue Glendale, California 91201
Phone: 1.818.956.1900
Fax: 1.818.407.0330
E-mail: mail@abrari.com

LANDSCAPE ARCHITECT
Name: Shelley Sparks
Firm: Harmony Gardens, Inc.
Address: 12224 Addison Street Valley Village, California 91607
Phone: 1.818.569.3763
Fax: 1.818.760.7558
E-mail: Shelley@Harmonygardens.net

SURVEYOR
Name: Neil Hansen
Firm: N.C. Hanson, Inc.
Address: 1545 Victory Boulevard, 2nd Floor Glendale, California 91201
Phone: 1.747.215.6567
E-mail:

GEOTECHNICAL ENGINEER
Name: Juan A. Vidale
Firm: A.G.I. GEOTECHNICAL INC
Address: 16555 Sherman Way, Suite A Van Nuys, CA 91410
Phone: 818-240-4500
Fax: 818-384-0410
E-mail:

CIVIL ENGINEER
Name: Serge Adamian, PE, CEM
Firm: EcoTrade, Inc.
Address:
Phone: Tel: 818-240-4500
Fax: Cell: 818-384-0410
E-mail: serge_adamian@saboglobal.net

OWNER
Name: SIOF 4 Properties LLC
Address: 8629 S. Vermont Avenue Los Angeles, California 90044
Phone: 1.323.308.8548
E-mail: aydin@siofimpact.com

No.	Revisions	Date

No.	Revisions	Date

SoLa IMPACT - MAIN STREET CD02
11630-11640 South Main Street, Los Angeles, California 90061



ELEVATIONS & SECTION

Project number: 1918 CD03
Date: 08/31/2020
Drawn by: Author
Checked by: Checker

A3.01
Scale: As indicated



3600 Wilshire Blvd suite 1402
 Los Angeles, CA 90010
 Tel: 213.382.1210 Fax: 213.382.1285

ARCHITECT

Name: John Poindexter
 Firm: Envirostructure, Inc.
 Address: 3600 Wilshire Boulevard
 Suite 1402
 Los Angeles, California 90010
 Phone: 1.213.382.1210
 Fax: 1.213.382.1285
 E-mail: john@envirostructureinc.com

STRUCTURAL ENGINEER

Name: Vahé Kordjani, P.E.
 Firm: KCE Matrix, Inc.
 Address: 1112 W. Burbank Boulevard
 Suite 301
 Burbank, California 91506
 Phone: 1.818.559.5500
 Fax: 1.818.559.5511
 E-mail: Vah@kcoematrixinc.com

MECHANICAL ENGINEER

Name: Serge Davolokhanian
 Firm: Alpius Engineering Consultants
 Address: 11517 Burbank Boulevard
 North Hollywood, California 91601
 Phone: 818-980-7583
 E-mail: sdavolok@aboglobal.net

ELECTRICAL ENGINEER

Name: Henry Abrari, P.E.
 Firm: Abrari & Associates
 Consulting Electrical Engineers
 Address: 1713 Standard Avenue
 Glendale, California 91201
 Phone: 1.818.956.1900
 Fax: 1.818.497.0330
 Email: mail@abrari.com

LANDSCAPE ARCHITECT

Name: Shelley Sparks
 Firm: Harmony Gardens, Inc.
 Address: 12224 Addison Street
 Valley Village, California 91607
 Phone: 1.818.505.9763
 Fax: 1.818.760.7558
 Email: Shelley@Harmonygardens.net

SURVEYOR

Name: Neil Hansen
 Firm: N.C. Hansen, Inc.
 Address: 1545 Victory Boulevard, 2nd Floor
 Glendale, California 91201
 Phone: 1.747.215.9567
 Fax: 1.747.215.9567
 Email: neil@nchansen.com

GEOTECHNICAL ENGINEER

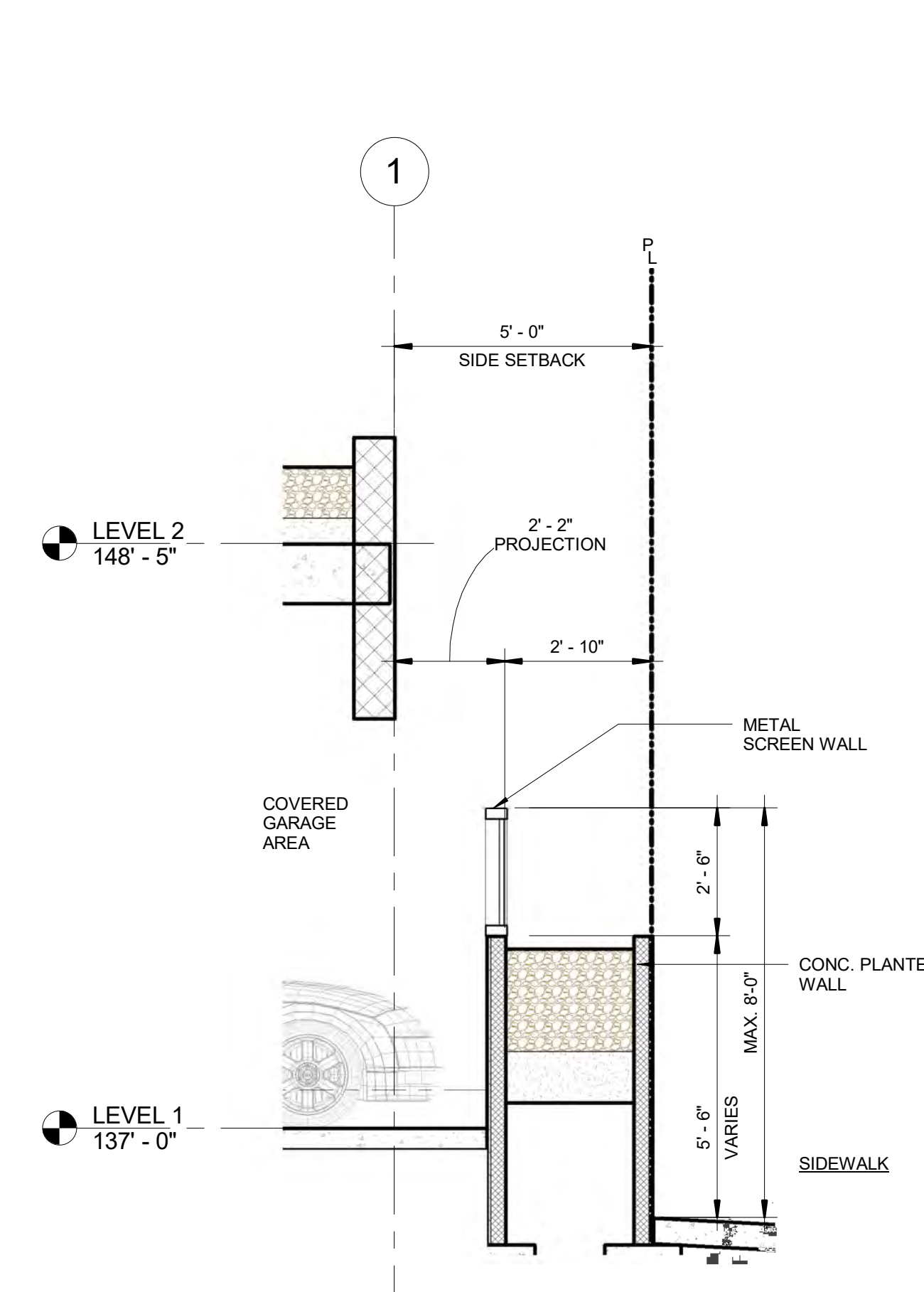
Name: Juan A. Vidali
 Firm: A.G.I. GEOTECHNICAL, Inc.
 Address: 16555 Sherman Way, Suite A
 Van Nuys, CA 91406
 Phone: 818-240-4500
 Fax: 818-384-0410
 Email: juan@agigeo.com

CIVIL ENGINEER

Name: Serge Adamian, PE, CEM
 Firm: EcoTrade, Inc.
 Address: 8221 S. Vermont Avenue
 Los Angeles, California 90044
 Phone: 1.323.306.6548
 Fax: 1.818-240-4500
 Email: serge_adamian@aboglobal.net

OWNER

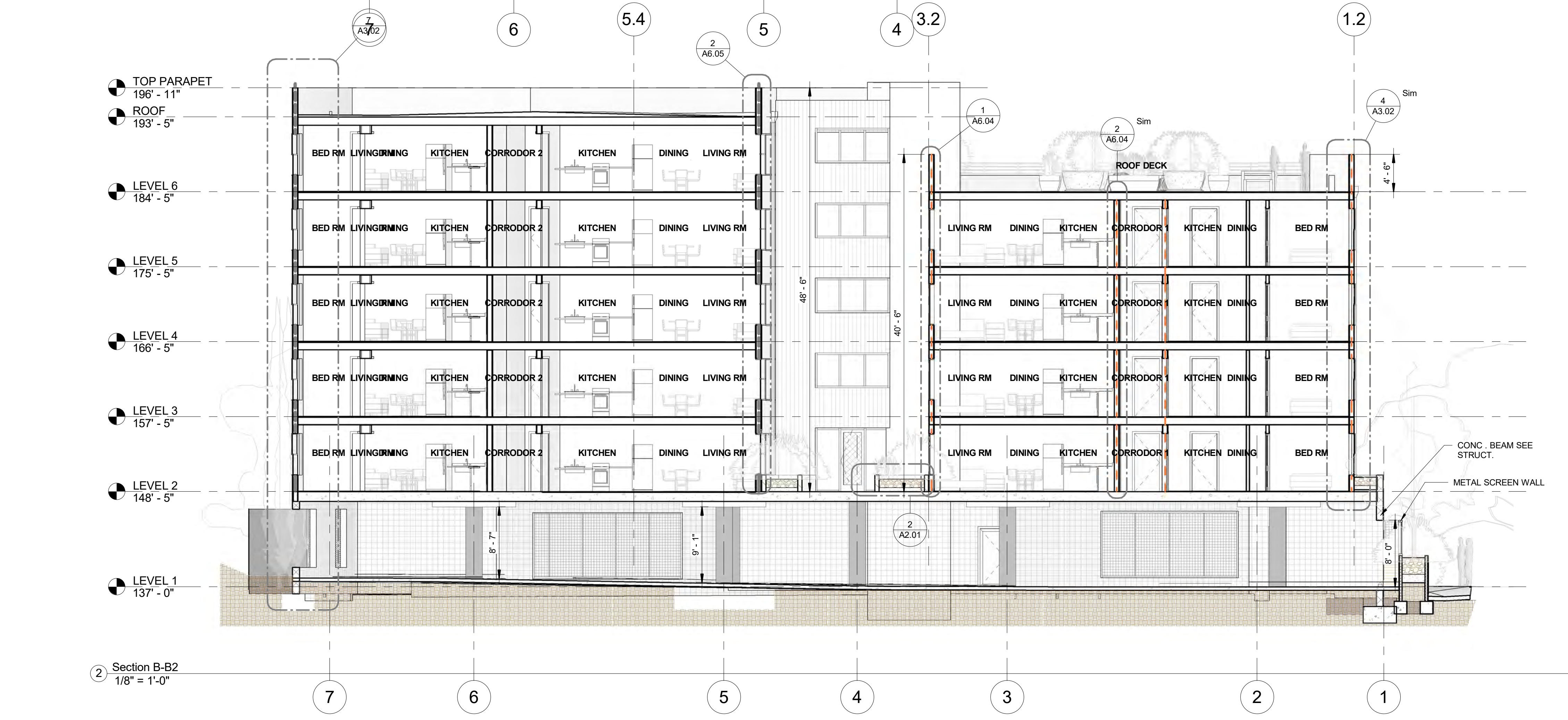
Name: SIOF 4 Properties LLC
 Address: 8629 S. Vermont Avenue
 Los Angeles, California 90044
 Phone: 1.323.306.6548
 Email: aydin@siofimpact.com



③ Section B-B1 - Callout 1
 3/8" = 1'-0"



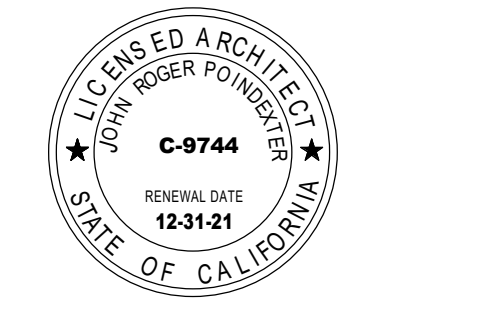
① Section B-B1
 1/8" = 1'-0"



② Section B-B2
 1/8" = 1'-0"

No.	Revisions	Date

SoLa IMPACT - MAIN STREET CD02
 11630-11640 South Main Street, Los Angeles, California 90061



SECTION

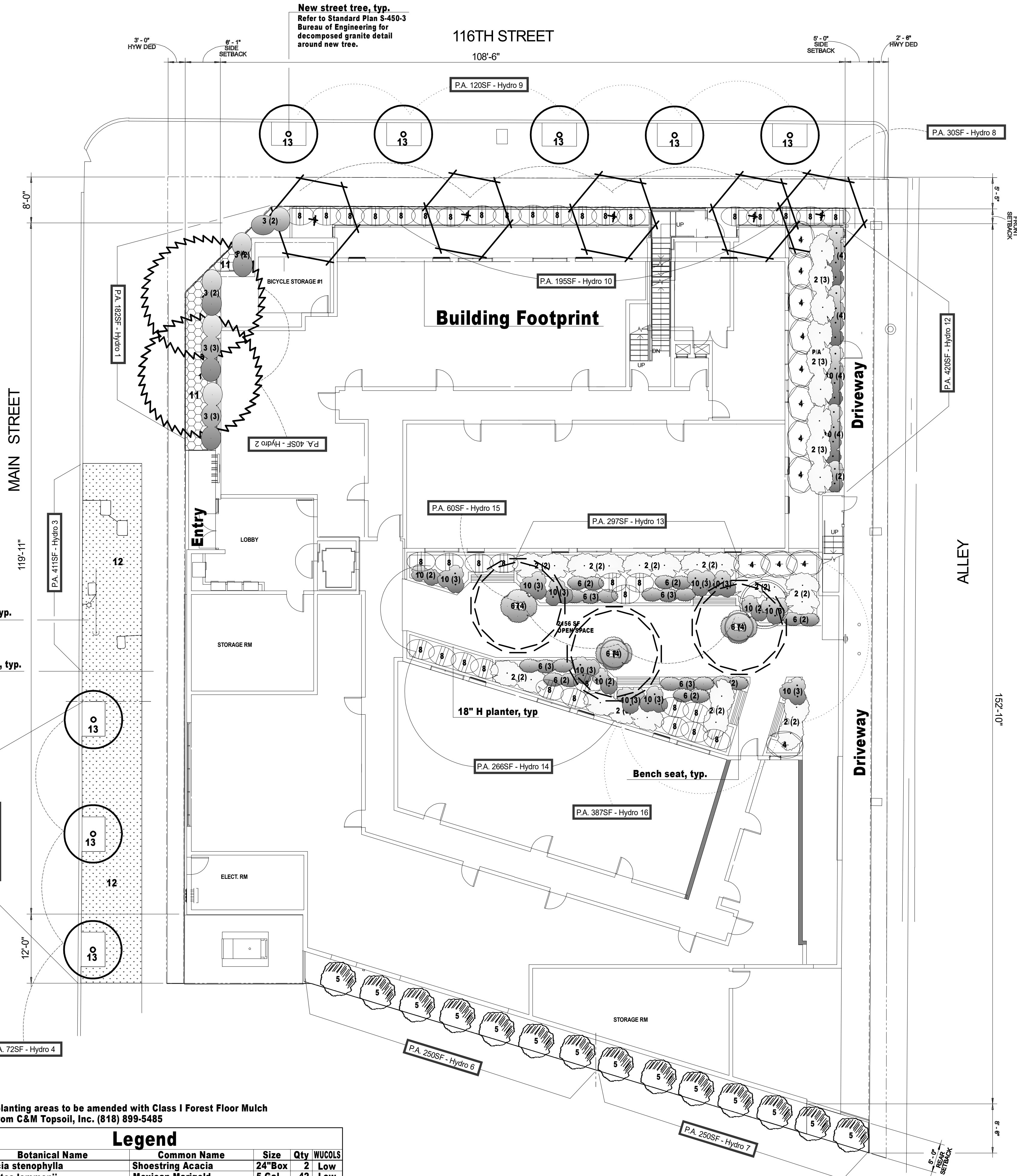
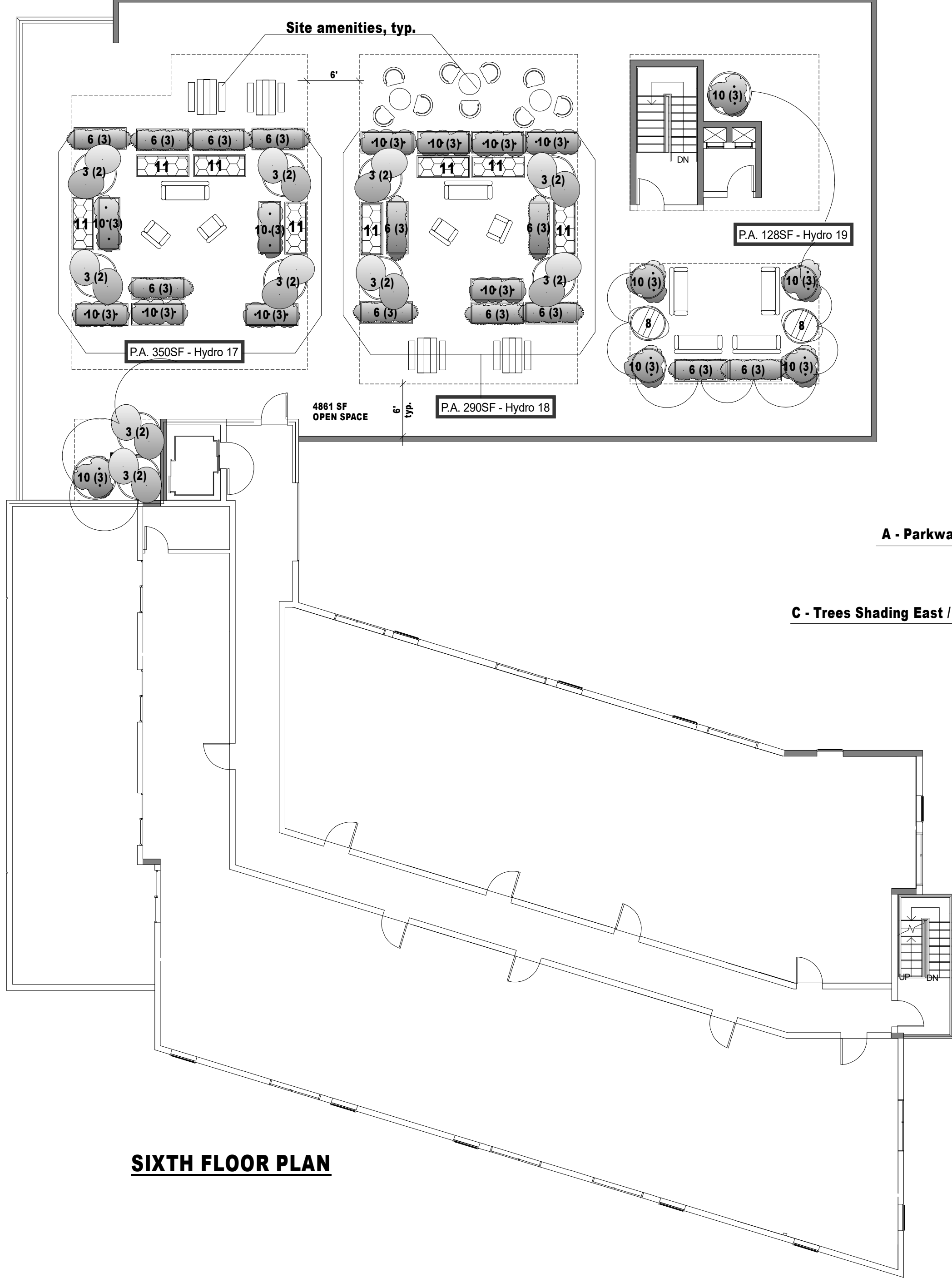
Project number: 1918 CD03
 Date: 08/31/2020
 Drawn by: Author
 Checked by: Checker

A3.04

Scale: As indicated

ROOF DECK PLANTERS

Symbol	Mfg., Model, Dim.	Qty	Area
15sf	Chandler Co. Milano 24"W x 30"W x 72"L	30	450 sf
20sf	Chandler Co. Argentina 24"W x 60"D	12	240 sf
13sf	Chandler Co. Argentina 24"H x 48"D	6	78 sf
TOTAL SQUARE FOOTAGE: 768			



Hydrozone division line
Hydrozone indicator

MWELO CALCULATIONS

LANDSCAPE AREA (LA)	ETAF	SLA	MAWA
4213	0.55	0.00	71975.31 GAL/YR
Estimated Total Water Use (ETWU)			
ETWU=(Eto) x (42) x (PF) x (HA) x (SLA)			49066.46 GAL/YR

Hydrozone Table for Calculating ETWU

Zone	Description	Needs	PF	Method	IE	ETAF	Hydrozone	ETAF x Area (HA)	ETAF x Area (HA)
1	Shrub/GC	Low	0.3	Drip	0.81	0.37	182	67	2093.81
2	Trees	Low	0.3	Drip	0.81	0.37	40	15	460.16
3	Groundcover	Low	0.3	Drip	0.81	0.37	411	152	4778.33
4	Trees	Low	0.3	Drip	0.81	0.37	72	27	828.32
5	Groundcover	Low	0.3	Drip	0.81	0.37	437	162	5027.44
6	Trees	Low	0.3	Drip	0.81	0.37	250	93	2876.11
7	Trees	Low	0.3	Drip	0.81	0.37	290	93	2876.11
8	Trees	Low	0.3	Drip	0.81	0.37	30	11	345.13
9	Trees	Low	0.3	Drip	0.81	0.37	120	44	1380.83
10	Shrubs	Low	0.3	Drip	0.81	0.37	195	72	2243.37
THIS HYDROZONE HAS BEEN OMITTED									
11	Shrubs	Low	0.3	Drip	0.81	0.37	420	156	4831.87
12	Trees	Low	0.3	Drip	0.81	0.37	297	110	3416.82
13	Shrubs	Low	0.3	Drip	0.81	0.37	268	99	3065.18
14	Trees	Mod	0.5	Drip	0.81	0.62	78	48	1495.58
15	Shrubs	Low	0.3	Drip	0.81	0.37	387	143	4482.22
16	Shrub/GC	Low	0.3	Drip	0.81	0.37	350	130	4026.50
17	Shrub/GC	Low	0.3	Drip	0.81	0.37	280	107	3336.20
18	Shrub/GC	Low	0.3	Drip	0.81	0.37	138	51	1587.61
19	Shrub/GC	Low	0.3	Drip	0.81	0.37	138	51	1587.61
Sum					0.81	0.38	4213.00	1579.63	49066.46

SPECIAL LANDSCAPE AREAS

Sum	A	B	C	D
1.00	0	0	0	0
1.00	0.00	0.00	0.00	0.00

ETAF CALCULATIONS

Regular Landscape Areas	All Landscape Areas
Total ETAF x Area (A)	Total ETAF x Area (B+C+D)
4213.00	4213.00
Average ETAF (B / A)	Average ETAF (B+C+D / A)
0.37	0.37

CITY POINTS

POTENTIAL LANDSCAPE AREA (Lot Area minus Building Footprint)	POINTS PER ITEM	QTY	POINTS CLAIMED	CALCULATED SHEET
18964.50 SF	1	18964	18964	18964
36,965 SF	1	36965	36965	36965
TOTAL POTENTIAL LANDSCAPE AREA:				
55,930 SF				

PLANTED AREA CALCULATIONS:

Symbol	Mfg., Model, Dim.	Qty
20sf	Chandler Co. Argentina 24"W x 60"D	3
AREA SUB-TOTAL: 60sf		

OPEN SPACE CALCULATIONS

Location	Area
Open Space Provided	
2nd Flr	2156 sf
Roof Deck	4861 sf
TOTAL:	7017 sf
Planting Area Required: 25%	7017 x .25 = 1754.25 sf
Planting Area Provided	
2nd Flr	1000 sf
Roof Deck	768 sf
TOTAL:	1768 sf
(1768 > 1754.25)	

B - Soil in planting areas to be amended with Class I Forest Floor Mulch available from C&M Topsoil, Inc. (818) 899-5485

Legend

Botanical Name	Common Name	Size	Qty	WUCOLS
1 Acacia stenophylla	Shoestring Acacia	24" Box	2	Low
2 Tagetes lemmonii	Mexican Marigold	5 Gal.	42	Low
3 Euphorbia tirucalli 'Sticks on Fire'	Red Pencil Tree	5 Gal.	45	Low
4 Rhamnus californica 'Leatherleaf'	Coffeeberry	5 Gal.	12	Low
5 Cupressus sempervirens 'Glauca'	Italian Cypress	24" Box	14	Low
6 Galvezia speciosa 'Bocarsa'	Island Snapdragon	1 Gal.	72	Low
7 Cupanopsis anacardioides	Carrotwood	15 Gal.	3	Mod
8 Chondropetalum elephantinum	Large Cape Rush	5 Gal.	40	Low
9 Agonis flexuosa 'Jervis Bay Afterdark'	After Dark Peppermint Tree	24" Box	5	Low
10 Salvia leucantha 'Santa Barbara'	Santa Barbara Sage	1 Gal.	102	Low
11 Lippia nodiflora	Pine Muhly @ 24"OC	1 Gal.	59	Low
12 Kurapia	kurapia	sq. ft.	848	Low
13 New street tree - size and species TBD by city Urban Forestry Division	24" Box	8	Low	

GREEN BUILDING NOTES
Performance Approach
TOTAL LANDSCAPE AREA: 4213 sq. ft.
WATER SUPPLY TYPE: Potable, LADWP
A minimum 3-in. layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct-seeding applications when mulch is contraindicated. For soils less than 6% organic matter in the top 6 in. of soil, compost at a minimum rate of 4 cu. yd. per 1000 sq. ft. of permeable area shall be incorporated to a depth of 6 in. into the soil.
I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plans. A Certificate of Completion shall be filled out and certified by either the designer of the landscape plans, irrigation plans, or the licensed landscape contractor for the project. For projects that include landscape work, the Landscape Certification Form GRM 12, shall be completed prior to final inspection approval. (State Assembly Bill No. 1881, S.304.1) I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package.

Green Building Notes
Performance Approach
TOTAL LANDSCAPE AREA: 4213 sq. ft.
WATER SUPPLY TYPE: Potable, LADWP

A minimum 3-in. layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct-seeding applications when mulch is contraindicated. For soils less than 6% organic matter in the top 6 in. of soil, compost at a minimum rate of 4 cu. yd. per 1000 sq. ft. of permeable area shall be incorporated to a depth of 6 in. into the soil.

I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plans. A Certificate of Completion shall be filled out and certified by either the designer of the landscape plans, irrigation plans, or the licensed landscape contractor for the project.

For projects that include landscape work, the Landscape Certification Form GRM 12, shall be completed prior to final inspection approval. (State Assembly Bill No. 1881, S.304.1)

I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package.

Signed: _____
Date: 05/20/2020

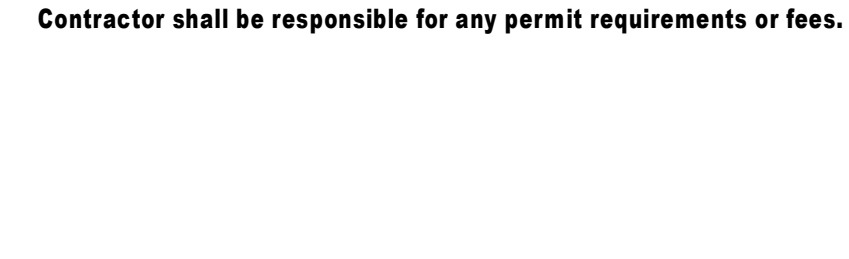
URBAN FORESTRY NOTES:
Final determination of tree planting locations is subject to approval by Bureau of Street Services, Urban Forestry Division.
The Bureau of Street Services, Urban Forestry Division shall inspect and tag trees upon delivery to the job site. It is the responsibility of the Contractor to ensure the trees are the proper species approved by an authorized representative of Urban Forestry Division.
The street trees shall meet or exceed the criteria of good-quality tree stock set forth by the UrbanTree Foundation (urbantree.org) and the Western Chapter of the International Society of Arboriculture's (WCISA) Guideline Specifications for Nursery Tree Quality (wcisa.net/downloads/NurseryTreeSpecs.pdf).
Contact Urban Forestry Division (213) 847-3077 at least five working days before delivery to arrange an appointment with the inspector. Inspector shall review the proposed tree locations prior to the construction of the sidewalk. Urban Forestry Division accepts no responsibility for any purchasing and/or delivery arrangements and shall reject any trees failing to meet the specifications set forth in the Urban Tree Foundation's and WCISA's Guidelines Specifications for Nursery Tree Quality.
Contractor shall be responsible for any permit requirements or fees.

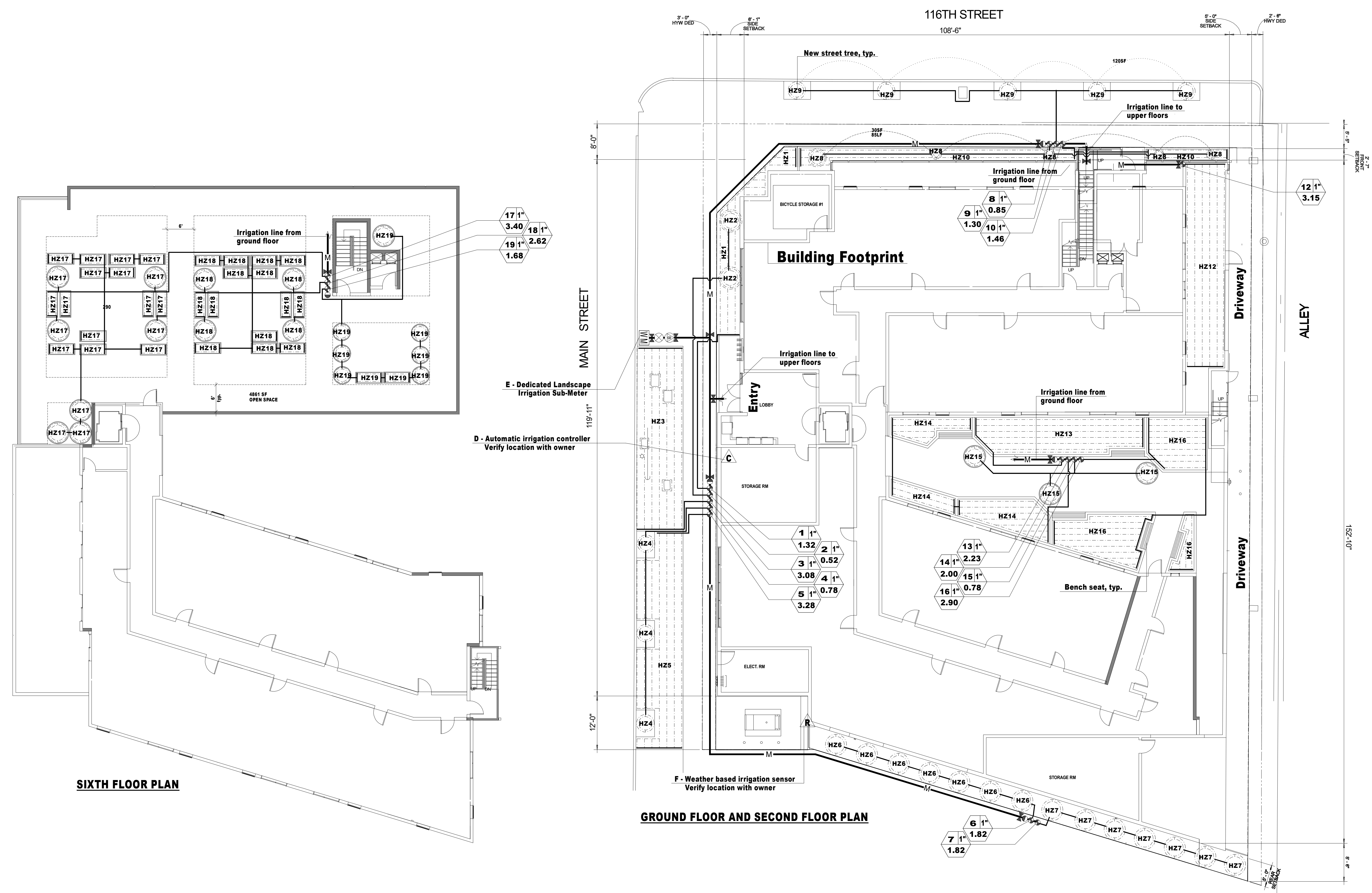
REQUIRED AND PROVIDED TREES TABLE

TREES	NUMBER	RATIO	QTY
PER UNIT	84	1 TREE/4 UNITS	21
MIN. NO. TREES REQ.			21
TREES PROVIDED			
PLANTING AREAS	L1	24" BOX	21
PARKWAY	L1	24" BOX	8
TOTAL TREES		24" BOX	29

FRONT YARD PLANTED AREA = 222 SF
Required shade tree 1500 SF = 1
Provided shade trees = 2

LEGAL DESCRIPTION
APN: 6083-010-010, 027, 031
TRACT: TR 359B
BLOCK: None
LOT: 3, 4, 5, & PORTION OF 6





SIXTH FLOOR PLAN
 Irrigation line from ground floor
 HZ17, HZ18, HZ19
 4661 SF OPEN SPACE
 17'1" 3.40
 18'1" 2.62
 19'1" 1.68

GROUND FLOOR AND SECOND FLOOR PLAN

- 1) AUTOMATIC CONTROLLERS SHALL BE SET TO WATER BETWEEN 5 PM AND 10 AM TO REDUCE EVAPORATION.
 - 2) A MINIMUM OF PVC SCHEDULE 40 OR EQUIVALENT SHALL BE USED FOR MAIN LINES AND UNDER DRIVEWAY AREAS, AND A MINIMUM OF PVC SCHEDULE 200 OR EQUIVALENT SHALL BE USED FOR LATERAL LINES.
 - 3) THE IRRIGATION SYSTEM MUST COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS.
 - 4) CONTRACTOR SHALL PROVIDE THE OWNER WITH A SET OF "AS-BUILT" PLANS.
 - 5) IT IS THE INTENT OF THE DRAWINGS TO SHOW A COMPLETE AND OPERATIONAL IRRIGATION SYSTEM. THE SYSTEM WAS DESIGNED BASED ON LANDSCAPE AND GRADING DRAWING IN EFFECT AT THIS TIME. ANY DISCREPANCIES, OMISSIONS, ERRORS, ETC. ON ON-SITE CHANGES DOES NOT RELIEVE THE IRRIGATION INSTALLER OF HIS RESPONSIBILITY TO PROVIDE A COMPLETE AND OPERATIONAL SYSTEM.
 - 6) IRRIGATION LINES, VALVES AND OTHER EQUIPMENT SHOWN IN PAVED OR PUBLIC AREAS ARE SCHEMATIC AND ARE FOR DIAGNOSTIC PURPOSES ONLY. LINES, VALVES, AND OTHER EQUIPMENT SHOWN IN PAVED OR PUBLIC AREAS ARE INTENDED TO BE LOCATED IN ADJACENT PLANTING AREAS.
 - 7) ALL LINES TRaversing HARDSURFACE TO BE PLACED IN CONDUIT UNDER PAVING.
- WITHIN THE PUBLIC RIGHT OF WAY**
 a. All irrigation mainline shall be Schedule 80 PVC, and all laterals/sleeves shall be Schedule 40 PVC. Sleeves shall be 2x the size of the pipe being sleeved. All irrigation equipment (for both concrete and landscape areas) shall be installed in traffic-rated concrete valve boxes with hinged metal lids. Irrigation equipment includes remote control valves, flush valves, air-relief valves, quick couplers, etc.
 b. Contractor shall pay for all permits and construction costs for the Department of Water and Power (DWP) to conduct any street work (trenching), mainline/sleeve installation in the street and sub-water meter installation and reduced pressure backflow preventer review. A billing address must be provided when applying for installation of the sub-water meters. Contractor must file the application prior to start of construction. Contractor to contact the City in order to establish utility service and billing addresses. Utility service must be established prior to trees/shrub installations.
 c. The Reduced Pressure Principle Backflow Preventer, related equipment and irrigation controller shall be installed on private property.
 d. All irrigation equipment (for both concrete and landscape areas) shall be installed in traffic-rated concrete valve boxes with hinged metal lids. Irrigation equipment includes remote control valves, flush valves, air-relief valves, quick couplers, etc.
 e. All irrigation mainlines within the public right of way shall be 24" below finish grade. All irrigation laterals within the public right of way shall be 12" below finish grade. Below vehicular access areas, irrigation mainlines within the public right of way shall be 36" below finish grade, sleeved.
 f. All irrigation shall be pop-up spray/bubbler heads and/or sub-surface drip irrigation. No fixed risers are allowed within the public right of way.
 g. Direct burial wire shall be #14 gauge and shall be placed at 24" below grade taped to mainline where applicable.
 h. All drip irrigation shall be direct burial type, a minimum of 2" to 4" below finish grade.

IRRIGATION LEGEND										
VALVE NO.	SYM.	DESCRIPTION	PART NO	PRESSURE	GPM	APP. IN/HR	QTY	SPACING	SUBTOTAL	TOTAL GPM
1		HUNTER PLD DRIP TUBING	PLD-06-12	30	0.01	0.72	132	16"	1.32	1.32
2		HUNTER PLD DRIP TUBING	PLD-06-12	30	0.01	0.72	52	16"	0.52	0.52
3		HUNTER PLD DRIP TUBING	PLD-06-12	30	0.01	0.72	308	16"	3.08	3.08
4		HUNTER PLD DRIP TUBING	PLD-06-12	30	0.01	0.72	78	16"	0.78	0.78
5		HUNTER PLD DRIP TUBING	PLD-06-12	30	0.01	0.72	328	16"	3.28	3.28
6		HUNTER PLD DRIP TUBING	PLD-06-12	30	0.01	0.72	182	16"	1.82	1.82
7		HUNTER PLD DRIP TUBING	PLD-06-12	30	0.01	0.72	182	16"	1.82	1.82
8		HUNTER PLD DRIP TUBING	PLD-06-12	30	0.01	0.72	85	16"	0.85	0.85
9		HUNTER PLD DRIP TUBING	PLD-06-12	30	0.01	0.72	130	16"	1.30	1.30
10		HUNTER PLD DRIP TUBING	PLD-06-12	30	0.01	0.72	146	16"	1.46	1.46
VALVE NO. 11 HAS BEEN OMITTED										
12		HUNTER PLD DRIP TUBING	PLD-06-12	30	0.01	0.72	315	16"	3.15	3.15
13		HUNTER PLD DRIP TUBING	PLD-06-12	30	0.01	0.72	223	16"	2.23	2.23
14		HUNTER PLD DRIP TUBING	PLD-06-12	30	0.01	0.72	200	16"	2.00	2.00
15		HUNTER PLD DRIP TUBING	PLD-06-12	30	0.01	0.72	78	16"	0.78	0.78
16		HUNTER PLD DRIP TUBING	PLD-06-12	30	0.01	0.72	290	16"	2.90	2.90
17		HUNTER PLD DRIP TUBING	PLD-06-12	30	0.01	0.72	340	16"	3.40	3.40
18		HUNTER PLD DRIP TUBING	PLD-06-12	30	0.01	0.72	262	16"	2.62	2.62
19		HUNTER PLD DRIP TUBING	PLD-06-12	30	0.01	0.72	168	16"	1.68	1.68

STATIC PRESSURE AT METER: 115-71 PSI PER THO NGUYEN, LADWP (213) 367-5054

IRRIGATION EQUIPMENT LEGEND		
SYMBOL	DESCRIPTION	PART NO
	DEDICATED LANDSCAPE IRRIGATION SUB-METER	1"
	FEBCO BACKFLOW PREVENTER	MODEL 825Y
	WILKINS PRESSURE REDUCING VALVE	600
	HUNTER CONTROL ZONE VALVE KIT	PCZ-101
	HUNTER RAIN SENSOR, CONDUIT MOUNT	SOLAR-SYNC
	HUNTER I-CORE CONTROLLER	IC-600-M, six station w/ two ICM-600 exp. modules
	HOSE BIB - OWNER TO SELECT LOCATION	
	NIBCO GATE VALVE	SIZE PER LINE
	SCHED. 40 PVC LATERAL LINE	3/4"
	SCHED. 40 PVC MAIN LINE	

HZ = Hydrozone
 Zone No. 5
 Valve size 4.00
 Flow rate in GPM

Green Building Notes
Performance Approach
 Pressure-regulating devices are required if water pressure is below or exceeds the recommended pressure of the specified irrigation devices.
 Check valves or anti-drain valves are required on all sprinkler heads where low point drainage could occur.
 Recirculating water systems shall be used for water features.
 Locks shall be installed on all publicly accessible exterior faucets and hose bibs.
 Plumbing contractor to install stub line for rooftop and upper floor irrigation.
 A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes.

An irrigation audit report shall be completed at the time of final inspection.
 I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plans.
 A Certificate of Completion shall be filed out and certified by either the designer of the landscape plans, irrigation plans, or the licensed landscape contractor for the project.
 For projects that include landscape work, the Landscape Certification, Form GRN 12, shall be completed prior to final inspection approval. (State Assembly Bill No. 1681, 5.304.1)

I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package.
 Signed: _____
 Date: 05/20/2020

LEGAL DESCRIPTION
 APN: 6083-010-010, 027, 031
 TRACT: TR 359B
 BLOCK: None
 LOT: 3, 4, 5, & PORTION OF 6
 0' 5' 10' 20' 30' 40'

