

Harbor Gateway North Neighborhood Council  
Land Use Committee



Meeting of November 7, 2020

# Introduction

- **Applicant:** Adan Madrid, ASI Development for 7-Eleven, Inc.
- **Subject Property:** SW corner of Imperial Hwy @ Main St.
- **Proposed Project:** 24-hour “dry” convenience store and gas station

# Background

- **Mar. 2, 2019** – 1<sup>st</sup> HGNNC LUC meeting
- **Nov. 2, 2019** – 2<sup>nd</sup> HGNNC LUC meeting
- **Nov. 14, 2019** – Mtg. with LAPD
- **Dec. 17, 2019** – Mtg. with CD-15 Staff
- **Feb. 22, 2020** – Mtg. with City Planning
- **June 11, 2020** – Filed CUP application
- **July 11, 2020** - 3<sup>rd</sup> HGNNC LUC meeting

# Discussion Format

- Overview of previous meetings and slides
- Review of minutes and action items from the July 11<sup>th</sup> LUC meeting



## Mar. 2, 2019 – 1st HGNNC LUC meeting (1 of 2)

- No alcohol sales
- 12 hours of security guard services
- 6 ft. high block wall along both interior property lines.
- 3 ft. wrought iron fence along both street frontages with landscaping
- Paint all parking stall curbs green to limit parking to 20 minutes
- No public restroom provided it is allowed by the City
- File LAPD Trespass Arrest Authorization
- Secure trash enclosure

*Previous Slide*



## Mar. 2, 2019 – 1st HGNNC LUC meeting (2 of 2)

- Robust security camera system including coverage of the street intersection
- Access of security camera system to LAPD
- LAPD substation with designated parking
- Healthy food selection
- Adequate lighting
- Local hire for store employees
- Defensive landscaping to deter loitering

*Previous Slide*



## Nov. 2, 2019 – 2nd HGNNC LUC meeting (1 of 1)

- Summary of previous meeting discussion
- Re-route fuel delivery truck path of travel to exit northbound on Main St.
- Project site area does not include small undeveloped lot to the west with truck parking
- The small lot to the west has its own drive approach for access from Imperial Hwy
- Pending meeting with LAPD

*Previous Slide*



## Nov. 14, 2019 – meeting with LAPD

- Meeting with Captain Paglialonga (“Pags”), SLO Angelo Stewart (“Stew”) and Sergeant II Moreno
- No LAPD substation
- LAPD prefers a dedicated restroom and reserved parking
- Agrees with 12-hours of security guard services
- Suggested restroom be locked, and that access require a code
- Suggested LAPD Trespass Arrest Authorization

*Previous Slide*





## Feb. 22, 2020 – meeting with City Planning

- Meeting with Reuben N. Caldwell, Senior Planner, Community Planning and Helen Jadali, Planning Assistant.
- Reuben N. Caldwell confirmed:

*Table III-1 of Chapter 3 of the Southeast Los Angeles CPIO allows for the development of a new convenience store and automobile fueling service station on the basis that the property has a long history of "Auto-Related Uses" including operating as a gas station circa 1945, and as an auto service repair facility from 1981 to 2014 and is currently developed with a tire shop and hand car wash.*

Previous Slide

# Property Use History 1945

12/6/2018

Document Report

Print



December 09, 2018  
Document Report

#### Documents

Digital Image (4421622a-c938-4601-b0f0-4d56749eb6d6)

#### Document Number(s)

1542CA05944

#### Record Description

Record ID: 54159016  
Doc Type: BUILDING PERMIT  
Sub Type: NEW CONSTRUCTION  
Doc Date: 04/30/1945  
Status: ISSUED  
Doc Version: None  
AKA Address: None  
Project Name: None  
Disaster ID: None  
Subject: None  
Product Name: None  
Manufacturer's Name: None  
Expired Date: None  
Receipt Number: None  
Case Number: None  
Scan Number: 5000313201200005943  
Dwelling Units: None  
Comments: NEW AUTO WASHING & POLISHING

#### Property Address(es)

112 W IMPERIAL HWY

#### Legal Description(s)

Tract: TR 2038  
Block: 1 Lot: 12 Arb:  
Map Reference: Modifier:

#### Film REF

Type: HDS P5385, 01476, 0100 thru P5385, 0601  
Type: HIST P1370, 001, 1478

#### Primary Use

GAS STATION

#### Record Description

Record ID: 54159016

Doc Type: BUILDING PERMIT

Sub Type: NEW CONSTRUCTION

Doc Date: 04/30/1945

Status: ISSUED

Doc Version: None

AKA Address: None

Project Name: None

Disaster ID: None

Subject: None

Product Name: None

Manufacturer's Name: None

Expired Date: None

Receipt Number: None

Case Number: None

Scan Number: 5000313201200005943

Dwelling Units: None

Comments: NEW AUTO WASHING & POLISHING.

#### Property Address(es)

112 W IMPERIAL HWY

[http://adbsdoc.lacity.org/IDISPublic\\_Records/fdis/Report.aspx?Record\\_Id=54159016&Image=Visible&ImageToOpen={4d21023a-c938-4601-b0f0-4d5...](http://adbsdoc.lacity.org/IDISPublic_Records/fdis/Report.aspx?Record_Id=54159016&Image=Visible&ImageToOpen={4d21023a-c938-4601-b0f0-4d5...)

Previous Slide

# Property Use History 1960

3 APPLICATION TO ALTER - REPAIR - DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY												
CITY OF LOS ANGELES							DEPT. OF BUILDING AND SAFETY					
1. LEGAL LOT	BLK.	TRACT					DIST. MAP	87-201				
2. BUILDING ADDRESS							APPROVED	ZONE				
112 West Imperial Hwy.								R-4				
3. BETWEEN CROSS STREETS							FIRE DIST.					
Main Street AND Broadway Spring												
4. PRESENT USE OF BUILDING					NEW USE OF BUILDING		INSIDE					
Tire Shop					Tire Shop		KEY					
5. OWNER							PHONE		COR. LOT			
John Childs							PL 6-6942		REV. COR.			
6. OWNER'S ADDRESS							P. O.		ZONE			
1122 East 121th Street							L.A.		59			
7. CERT. ARCH.							STATE LICENSE		PHONE			
									50 X 130.9			
8. LIC. ENGR.							STATE LICENSE		PHONE			
9. CONTRACTOR							STATE LICENSE		PHONE			
Owner									REAR ALLEY			
10. CONTRACTOR'S ADDRESS							P. O.		ZONE			
1122 East 121th Street							L. A.		59			
11. SIZE OF EXISTING BLDG.			STORIES	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE			BLDG. AREA				
40'x20'			One	12'	One Tire Shop							
12. MATERIAL		<input type="checkbox"/> WOOD	<input type="checkbox"/> METAL	<input type="checkbox"/> CONC. BLOCK	ROOF	<input type="checkbox"/> WOOD	<input type="checkbox"/> STEEL	ROOFING				
EXT. WALLS:		<input checked="" type="checkbox"/> STUCCO	<input type="checkbox"/> BRICK	<input type="checkbox"/> CONCRETE	CONST.	<input type="checkbox"/> CONC.	<input type="checkbox"/> OTHER	Gorn.				
3 112 W. Imperial Hwy							DISTRICT OFFICE		L.A.			
13. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING.							\$ 200.00		DWELL UNITS			
14. SIZE OF ADDITION							STORIES	HEIGHT	VALUATION APPROVED		PARKING SPACES	
15. NEW WORK: EXT. WALLS							ROOFING		APPLICATION CHECKED		GUEST ROOMS	
Stucco & Add Foundation									PLANS CHECKED		FILE WITH	
C. OF O. ISSUED							CORRECTIONS VERIFIED		CONT. INSP.			
I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.							PLANS APPROVED					
SIGNED <i>John Childs</i>							APPLICATION APPROVED		INSPECTOR			
This Form When Properly Validated is a Permit to Do the Work Described.												
TYPE	GROUP	MAX. OCC.	P.C.	S.P.C.	B.P.	I.F.	G.S.	C/O				
					200							
VALIDATION							CASHIER'S USE ONLY					
LA57009							MAR-31-60		19118		A-1CS 200	

Form B-3

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.  
2. Plot Plan Required on Back of Original.

Previous Slide

[Print](#)**Documents**

Digital Image (C17A386C-4A58-43EE-AE9D-25AA2A2EEDC)

**Document Number(s)**

1883LA18321

**Record Description**

Record ID: 56527128  
 Doc Type: BUILDING PERMIT  
 Sub Type: BLDG-NEW  
 Doc Date: 12/14/1983  
 Status: ISSUED  
 Doc Version: None  
 AKA Address: None  
 Project Name: None  
 Disaster ID: None  
 Subject: None  
 Product Name: None  
 Manufacturer's Name: None  
 Expired Date: None  
 Receipt Number: None  
 Case Number: None  
 Scan Number: 5000713201500005847  
 Dwelling Units: None  
 Comments: NEW AUTO REPAIR.

**Property Address(es)**

110 W IMPERIAL HWY

**Legal Description(s)**

Tract: TR 3639  
 Block: 1 Lot: 16 Arb:  
 Map Reference: Modifier:  
 Tract: TR 3639  
 Block: 1 Lot: 15 Arb:  
 Map Reference: Modifier:  
 Tract: TR 3639  
 Block: 1 Lot: 14 Arb:  
 Map Reference: Modifier:  
 Tract: TR 3639  
 Block: 1 Lot: 13 Arb:  
 Map Reference: Modifier:  
 Tract: TR 3639  
 Block: 1 Lot: 12 Arb:  
 Map Reference: Modifier:

**Film RFP**

Type: ICS P0600, 02570, 0000 thru P0600, 0001  
 Type: H ST P0042, 006, 0130

**Primary Use**

PUBLIC GARAGE/AUTO REPAIR

**Record Description**

Record ID: 56527128

Doc Type: BUILDING PERMIT

Sub Type: BLDG-NEW

Doc Date: 12/14/1983

Status: ISSUED

Doc Version: None

AKA Address: None

Project Name: None

Disaster ID: None

Subject: None

Product Name: None

Manufacturer's Name: None

Expired Date: None

Receipt Number: None

Case Number: None

Scan Number: 5000713201500005847

Dwelling Units: None

Comments: NEW AUTO REPAIR.

**Property Address(es)**

110 W IMPERIAL HWY

# Property Use History 1983

[Print](#)

December 06, 2018  
Document Report

**Documents**

**Document Number(s)**  
1944020027

**Record Description**

**Record ID:** 21812721  
**Doc Type:** BUILDING PERMIT  
**Sub Type:** ALTERATION  
**Doc Date:** 03/10/1994  
**Status:** None  
**Doc Version:** None  
**AHA Address:** None  
**Project Name:** None  
**Disaster ID:** None  
**Subject:** None  
**Product Name:** None  
**Manufacturer's Name:** None  
**Expired Date:** None  
**Receipt Number:** None  
**Case Number:** None  
**Scan Number:** None  
**Dwelling Units:** None  
**Comments:** This document shows the following information: Insp Group = I; Stories = 1; Value or Grading CuYds = 1000. \*LOTS 12-16 INCLUSIVE. REPLACE 3 BEAMS WITH 2-4 X 10 BEAMS AT OPENING & CHG OF USE FROM EXISTING AUTO REPAIR F-1 OCC. NEW USE AUTO REPAIR & TIRE SHOP.

**Property Address(es)**  
110 W IMPERIAL HWY

**Legal Description(s)**

**Tract:**  
**Block:** Lot: Arb:  
**Modifier:** Map Reference:

**PIN(s)**  
0976203 281

**Assessor Number(s)**  
60871011032

**Council District(s)**  
F

**Census Tract(s)**  
24140

**District Office(s)**  
LA



December 06, 2018  
Document Report

**Film REC**

Type: PEST P0437; 001: 0159

**Primary Use**

PUBLIC GARAGE/AUTO REPAIR

# Property Use History 1994

**Comments:** This document shows the following information: Insp Group = I; Stories = 1; Value or Grading CuYds = 1000. \*LOTS 12-16 INCLUSIVE. REPLACE 3 BEAMS WITH 2-4 X 10 BEAMS AT OPENING & CHG OF USE FROM EXISTING AUTO REPAIR F-1 OCC. NEW USE AUTO REPAIR & TIRE SHOP.

Print



**Documents**

**Document Number(s)**  
01018-0000-00223

**Record Description**

Record ID: 11357855  
 Doc Type: BUILDING PERMIT  
 Sub Type: BLDG ALTER/REPAIR  
 Doc Date: 07/29/2001  
 Status: ISSUED  
 Doc Version: None  
 AIA Address: None  
 Project Name: None  
 Disaster ID: None  
 Subject: None  
 Product Name: None  
 Manufacturer's Name: None  
 Expired Date: None  
 Receipt Number: None  
 Case Number: None  
 Scan Number: None  
 Dwelling Units: None  
 Comments: Use for building to include Auto and Tire repair and accessories.  
 C of O to include Auto tire / repair. This complies with intra-dept. corres.  
 pondace dated 6-25-99

**Property Address(es)**

11010 W IMPERIAL HWY 90061-0000

**Legal Description(s)**

Tract: TR 3038  
 Block: 1 Lot: 12 Arb:  
 Map Reference: M B 31-20/22 Modifier: JFR

**Contact**

Name: ERNEST HINZ

**Pin(s)**

097A009 281

**Assessor Number(s)**

608-101-033

**Council District(s)**

15

**Census Tract(s)**

2114.000



**District Office(s)**

LA

**Permit Reference(s)**

2001SL17241

**Film REF**

Type: HST F738, 5.35

**Primary Use**

MISCELLANEOUS BUILDING/STRUCTURE

# Property Use History 2001

**Comments: Use for building to include Auto and Tire repair and accessories. C of O to include Auto tire / repair. This complies with intra-dept. corres pondace dated 6-25-99**

Previous Slide



# Property Use History 2008

110 W Imperial Hwy

Permit Application #: 08016 - 70000 - 00196

Bldg-Alter/Repair

City of Los Angeles - Department of Building and Safety

Plan Check #: B08SL00018FO

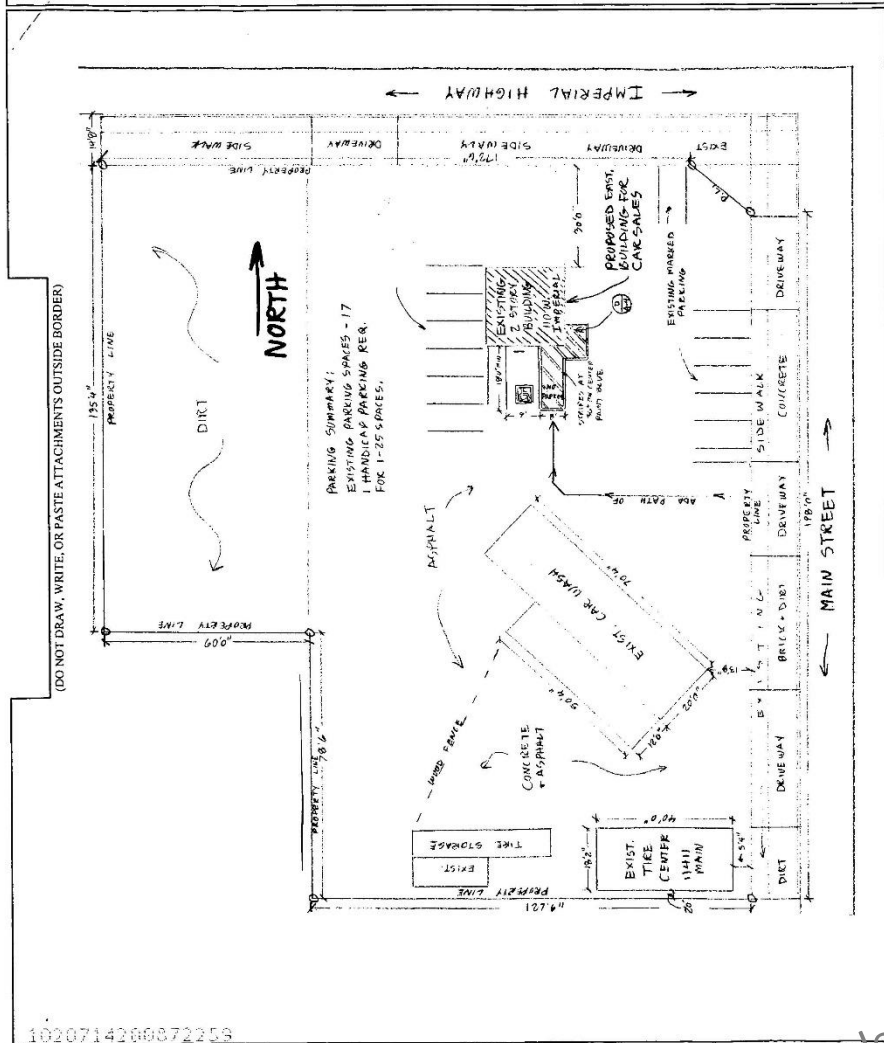
Commercial

Plan Check

## PLOT PLAN ATTACHMENT

Initiating Office: SOUTH LA

Printed on: 01/31/08 15:33:56



COUNCIL DISTRICT: 15

INSPECTION DISTRICT: BIGM4

PLOT PLAN ATTACHMENT

Previous Slide





## CUP and CPIO Adjustment Applications

- Automotive Fueling and Service Stations are permitted by-right in the C-2 Zone per Sec. 12.14.A (6) of the LAMC
- The CPIO allows for new auto-related uses on properties with existing auto-related uses as confirmed in writing by Senior Planner Reuben Caldwell with Community Planning.
- CUP required for 24-hours per Sec. 12.24 W 4. of the LAMC
- A CPIO Adjustment to reduce the minimum lot coverage by 20% is needed and allowed by the CPIO.

*Previous Slide*

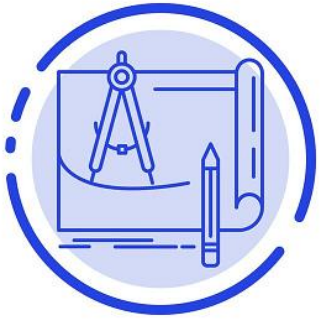


## CPIO Adjustment and Lot Coverage

Lot Size	27,708
Minimum 30% Lot Coverage	8,312
Minus 20% CPIO Adjustment	1,662
Adjusted Min. Lot Coverage	6,650
Proposed Store Size	4,277
Proposed Fueling Canopy	2,375
Proposed Lot Coverage	6,652



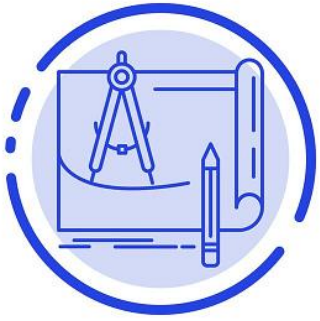
Previous Slide



## Drawing Revisions / Updates (1 of 2)

- Removed LAPD substation
- Increased store size from 3,100 sq. ft. to 4,277 sq. ft.
- Increased height of block wall along both interior property lines to 7 ft.
- Added 3 ft. high green wrought iron fence along both street frontages.
- Added additional landscaping along the storefront
- Added 2 reserved parking stalls for LAPD
- Added additional security cameras to cover the street corner and intersection

*Previous Slide*



## Drawing Revisions / Updates (2 of 2)

- Added LAPD / Security Personnel restroom
- Added landscape plans
- Re-routed fuel tanker path. Now exits northbound on Main St.

*Previous Slide*



# VP Racing Fuels / 105 E. Imperial Hwy

- Developed as a gas station circa 1969
- Listed as a Leaky Underground Storage Tank (LUST) Cleanup site
- Currently undergoing active remediation

*Previous Slide*



REFERRAL FORMS:

GEOGRAPHIC PROJECT PLANNING REFERRAL

APPLICABILITY: This form, completed and signed by appropriate Planning Staff, must accompany any application submitted to the Department of City Planning regarding any of the following proposed project types:

- Specific Plan area
• Community Design Overlays (CDO)
• Neighborhood Oriented District (NOD)
• Sign District (SN)
• Zone Change
• Design Review Board (DRB)
• Pedestrian Oriented District (POD)
• Community Plan Implementation Ordinance (CPIO)
• Public Benefit Alternative Compliance
• Zone Variance

NOTE: The Department of City Planning reserves the right to require an updated form for the project if more than 180 days have transpired since the date of the Project Planning Signature, or as necessary, to reflect project modifications, policy changes and/or amendments to the LAMC, local laws, and State laws.

PROJECT SUMMARY

1. Subject Property Address: 110 W. Imperial Hwy

2. Community Plan Area Name: Southeast Los Angeles

a. Specific Plan Name, DRB, CDO, POD, NOD, CPIO, or SN, including subarea if applicable: (If this is a Density bonus, Small Lot Subdivision or Zone Variance case, please write in the application type).

Southeast Los Angeles - TOD Subarea E

3. Project Type (check all that apply)

- [x] New construction [ ] Addition [ ] Renovation [x] Sign
[x] Change of Use [x] Grading [ ] Density Bonus [ ] Small Lot Subdivision
[ ] Other (describe)

If Change of Use, what is:

Existing Use? Auto repair / auto detail Proposed Use? Convenience store and gas station

Description of proposed project: New "dry" 24-hour convenience store and fueling canopy containing 4 pump islands, new surface parking lot, landscaping, lighting, signage and trash enclosure. Will need a CPIO adjustment for minimum lot coverage reduction.

Items 4-7 to be completed by Department of City Planning Staff Only

4. AUTHORIZATION TO FILE (check all that apply)

Specific Plan/SN

- [ ] Project Permit [ ] Adjustment
[ ] Minor (3 signs or less OR change of use) [ ] Exception
[ ] Standard (Remodel or renovation in which additions are no greater than 200 sq. ft. more than 3 signs, wireless equipment) [ ] Amendment
[ ] Major (All other projects, e.g. new buildings, remodels that include an addition of more than 200 sq. ft.) [ ] Interpretation
[ ] Not a Project
[ ] Modification [ ] Other

Previous Slide

**Design Review Board**

- Preliminary Review       Final Review

**CDO/POD/NOD**

- Discretionary Action       Sign-off only  
 **Minor** (3 signs or less OR change of use)  
 **Standard** (Remodel or renovation in which additions are no greater than 200 sq. ft. more than 3 signs, wireless equipment)       Not a Project  
 **Major** (All other projects, e.g. new buildings, remodels that include an addition of more than 200 sq. ft.)

**Community Plan Implementation Overlay (CPIO)**

- Administrative Clearance (Multiple Approvals)     CPIO Adjustment (CPIOA)     CPIO Exception (CPIOE)  
 Potentially Historic Resource

**Affordable Housing**

- Density Bonus       Conditional Use >35%  
 Affordable Housing Referral Form       Public Benefit  
 Off-menu incentives requested

**Small Lot Subdivision**

- Consultation completed

**Streetscape Plan**

- Consultation completed       Not a Project or N/A under Streetscape Plan: \_\_\_\_\_  
(Insert Streetscape Plan Area)

**5. ENVIRONMENTAL CLEARANCE**

- Not Determined       Environmental Assessment Form (EAF)  
 Categorical Exemption       Other Entitlements needed  
 Class 32 Categorical Exemption  
 Existing ENV Case Number: \_\_\_\_\_  
 ENV Addendum Case Number: \_\_\_\_\_

**6. PUBLIC NOTICING**

- Standard (BTC to mail hearing notice)  
 Special (At time of filing applicant must pay BTC to mail determination letters only)  
 Abutting owners       Abutting occupants

**7. NOTES**

*project shall comply with the section III -3.E.5: shade trees and section III -3.E. 6: pedestrian parking of the SELA CPIO development standards.*

Project Planning Signature: <i>Jadali</i>	Phone Number: (213) 978-1339
Print Name: Helen Jadali	Date: 6, 3, 20

Previous Slide



## July 11, 2020 – 3rd HGNNC LUC meeting (1 of 4)

### Minutes / Action Items:

- What guarantees are there that this will permanently be a dry store?

The Zoning Administrator can include a condition of approval stipulating that there shall not be any alcohol sales at this location in perpetuity of the CUP approval for 24 hours.

- How many existing 7-Eleven stores are there within a 2-mile radius of the site?

There are six (6) stores within a 2-mile radius; not eighteen (18) as indicated at the last meeting (Slide).

- Concerns with leaking Underground Storage Tanks (UST's).

Modern UST's are engineered to address this concern (Slide).

- Replace palm trees with shade canopy street trees such as Crate Myrtles.

✓  
New Slide





## July 11, 2020 – 3rd HGNNC LUC meeting (2 of 4)

### Minutes / Action Items:

- Re-route tanker path to enter from southbound on Main St. then exit on Imperial Hwy heading east (right turn in and right turn out). ✓

- How often do fueling trucks come?

The frequency of fuel deliveries is largely driven by fuel sales and necessity. On average, fuel deliveries occur 1x per week.

- Can fuel deliveries be restricted to off-peak hours?

7-Eleven would prefer that fuel deliveries not be restricted and that they be allowed to replenish fuel levels in the UST's unfettered. Most businesses are not restricted from receiving merchandise as needed.

- Is there a requirement for public restrooms?

Yes. The Building and Plumbing codes require that service stations provide a public restroom.

New Slide



## July 11, 2020 – 3rd HGNNC LUC meeting (3 of 4)

### Minutes / Action Items:

- Will 7-Eleven give LAPD access to the security cameras?

Yes. 7-Eleven will provide LAPD access to the cameras and will make sure store employees are properly trained on how to operate the surveillance equipment.

- How much of the larger store will go towards more product selection versus bigger isles?

Three (3) additional doors were added to the Walk-In-Cooler (WIC). The sales floor and merchandise area was increased by 385 square feet. 186 linear feet of shelving has also been added. The store will also feel more spacious.

- Can a Title restriction be added that would prohibit alcohol sales?

Yes. The City of Los Angeles requires that a Master Covenant Agreement (MCA) including the Determination Letter and the Conditions of Approval be recorded with the Los Angeles County Clerk. Upon recordation, they become a part of the property's Title.

*New Slide*



## July 11, 2020 – 3rd HGNNC LUC meeting (4 of 4)

### Minutes / Action Items:

- What percentage of 7-Eleven customers are local walk-up / drive-up traffic versus commuter traffic?

7-Eleven does not track this type of information. The customer base varies from store-to-store.

- Fix Site Plan to show “Commercial” to the south of the site. ✓
- Are there any bus stops at this corner? Will they be affected by the project?

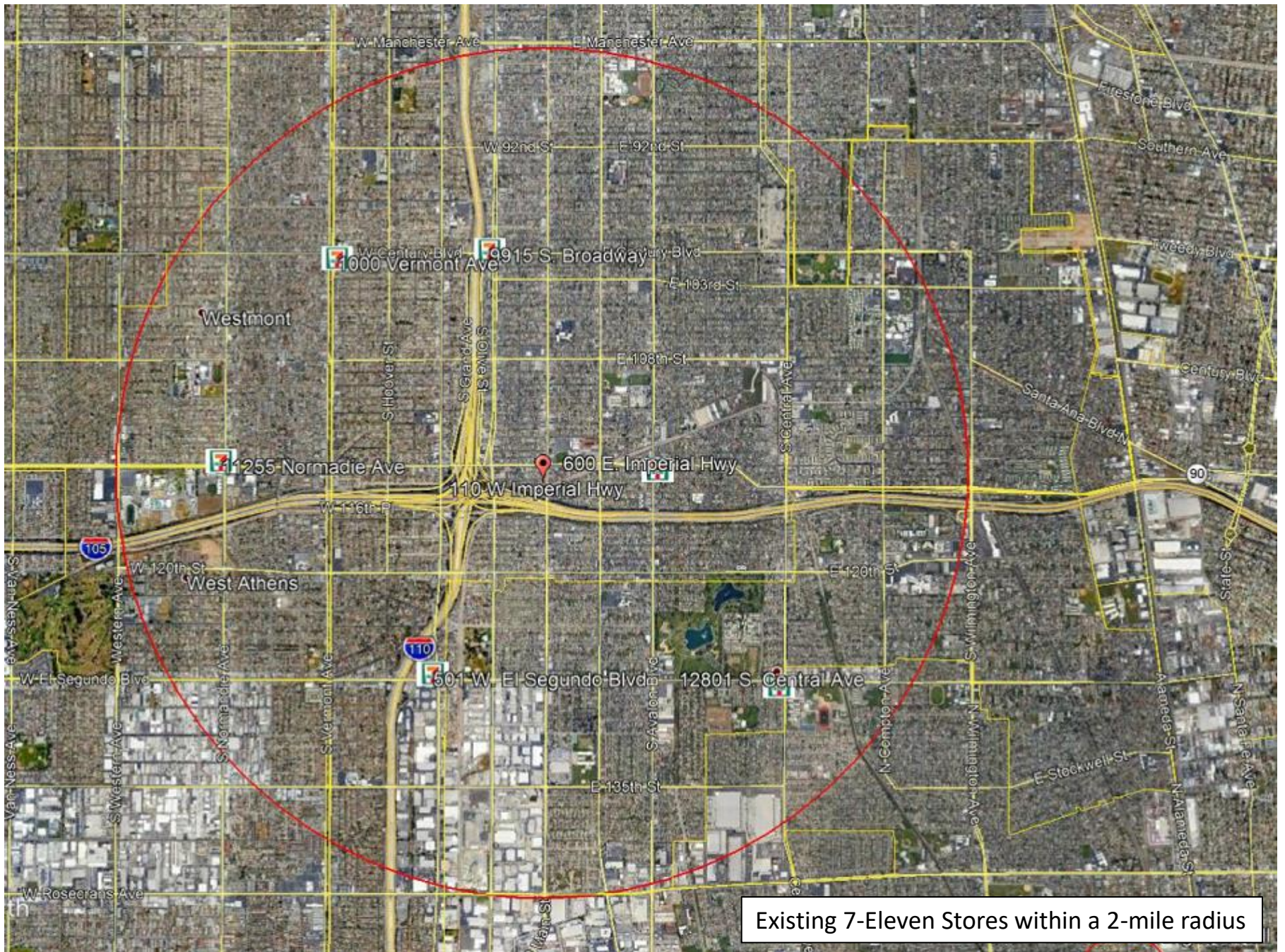
We conducted a field visit and did not see any bus stops along the property street frontage on Imperial Hwy or Main Street.

- Can 7-Eleven install EV charging stations as part of the proposed project?

7-Eleven can install conduit in the ground for the future provisioning of EV charging stations. The charging stations are very expensive. Feasibility is driven by available grant money (slide).

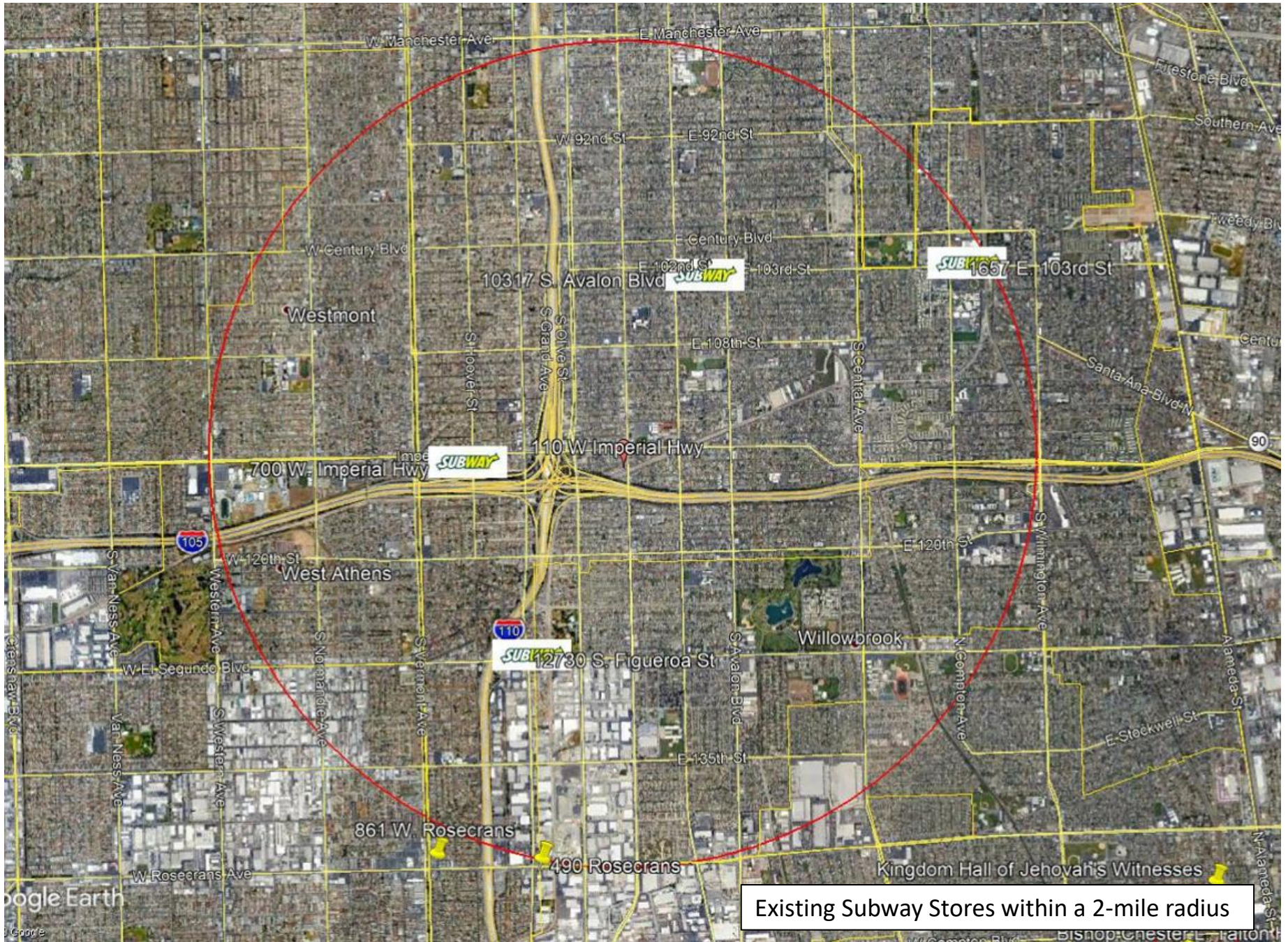
New Slide





Existing 7-Eleven Stores within a 2-mile radius





Existing Subway Stores within a 2-mile radius





## Underground Storage Tanks (UST)

- Tanks do not have a specific seismic rating
- They are in-ground and designed to move with the ground during seismic activity.
- All connection lines are also flexible and designed to move with the ground during seismic activity.
- 7-Eleven uses Xerxes UST's
- First introduced more than 50 years ago
- Over 200,000 tanks installed in North America
- UL-listed double-wall fiberglass tanks
- Factory-installed hydrostatic monitoring system
- Rib design for superior structural integrity
- Engineered tank installations
- Corrosion-resistant both inside and out
- Compatible with ethanol-blended fuels
- Compatible with ultra-low sulfur diesel
- Compatible with biofuels

*New Slide*

MEMORANDUM

TO: Mr. Robin Berg  
Xerxes Corp.  
7901 Xerxes Ave. South  
Minneapolis, Minn. 55431

FROM: Dr. Joseph M. Plecnik, P.E., Ph.D.  
Professor  
Civil Engineering Dept.  
California State Univ., Long Beach  
1250 Bellflower Blvd.  
Long Beach, CA 90840

DATE: November 29, 1994

SUBJECT: FRP Tanks Manufactured by Xerxes Corporation and Their Performance in Past Earthquakes.



Since 1973, I have been involved in the design, analysis and testing of underground fiberglass tanks fabricated by most fiberglass tank manufacturers in the United States. In addition, I have been involved in the inspection, certification and repair of underground gasoline storage tanks fabricated with steel or fiberglass materials. Regarding the behavior of such underground gasoline storage tanks during earthquakes, I have inspected tanks following four major earthquakes including the Santa Barbara (1978), Loma Prieta (1989), Whittier (1987), and Northridge (1994) Earthquakes.

The single-wall tanks currently being manufactured by the Xerxes Corporation are nearly identical to the design we developed in early 1970's for Century Fiberglass Inc. In the later 1970's, Xerxes Corporation purchased Century Fiberglass and initiated an extensive and continuous research and development program on fiberglass underground gasoline storage tanks. In addition, the Xerxes Corporation has developed a double wall underground fiberglass tank based on the same single wall design. Some of this research and development work has been

performed under my direction at the Structures Laboratory of California State University, Long Beach. During the past earthquakes enumerated above, the fiberglass tanks as manufactured by Century Fiberglass and Xerxes Corporation have performed, to my knowledge, without any significant damage. To the best of my knowledge, no product has ever been lost in any single or double wall tanks manufactured by either Century Fiberglass or the Xerxes Corporation.

Regarding steel tanks, during these four earthquakes, there have been three sites where steel or fiberglass coated steel tanks experienced localized buckling but no product loss. These tanks were generally deformed, as illustrated by the "oil can" effect for thin metal containers. The relative performance of steel and fiberglass tanks thus appears to be about equal from the viewpoint of their fuel containment performance during the above earthquake exposures. From the standpoint of structural performance, the steel tanks experienced local buckling type deformation whereas the fiberglass tanks developed "ovaling" type deformation.

The behavior of both fiberglass and steel tanks during these past four earthquakes can primarily be categorized as follows. First, the nature of the backfill will have a significant effect on the deformation of the tanks during the earthquake. The extent of initial compaction and the extent of compaction during the earthquake are the most significant parameters. Second, the tank itself, under horizontal seismic motion, appears to have little or no change in geometry. Third, when extensive vertical acceleration is present, such as the Northridge earthquake, there appears to be a consolidation/densification of the backfill resulting in settlement of the concrete slab above the tanks and slight ovaling of the tanks themselves. Fourth, the primary damage to tank system components during earthquakes appear to be in the risers and the pipes leading to the tanks. The risers, when permanently attached to the tank, did experience some damage at the attachment points. Pipes experience cracking adjacent to the tank and/or other locations where

New Slide

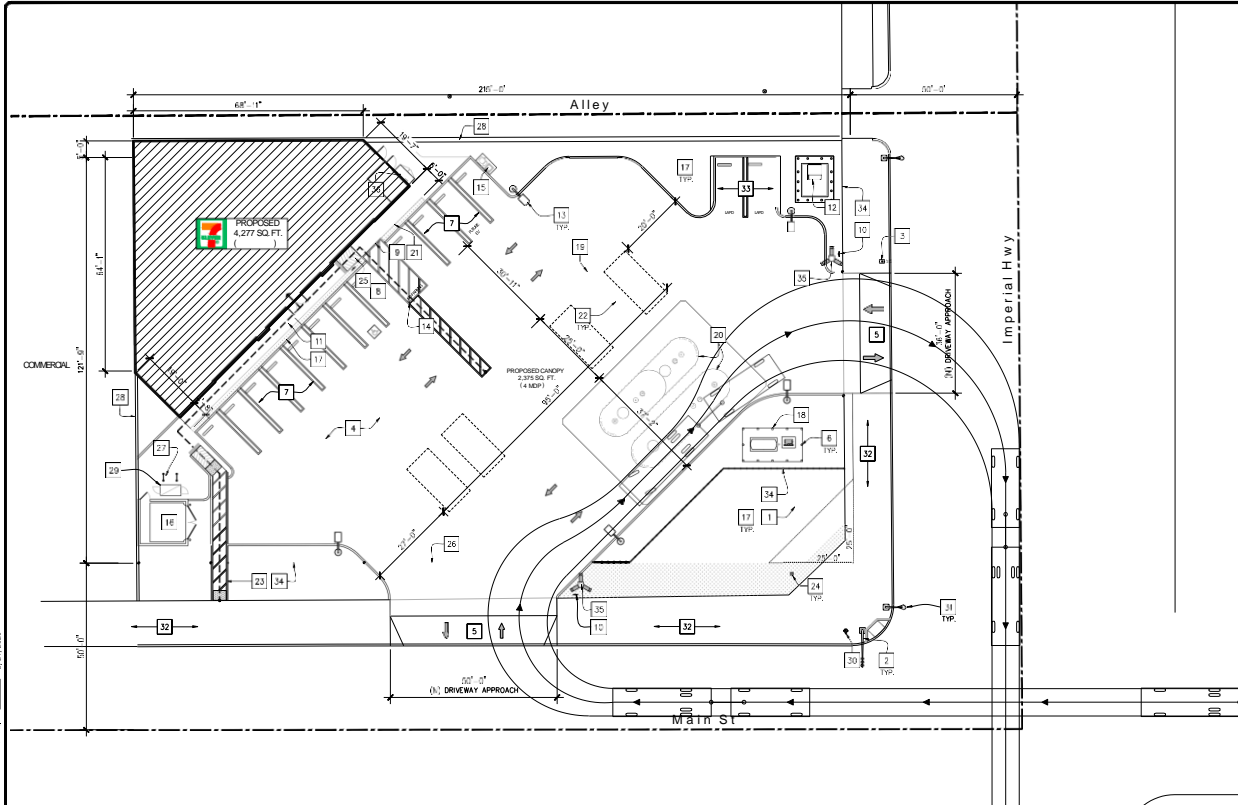
they enter into concrete. This type of damage is prevalent for all types of tanks, steel or fiberglass, and is closely related to construction practices. Such damage can be mitigated through the use of commonly used techniques available today in the underground tank industry.

If you have any other questions regarding this subject, please contact me at the above stated address.

New Slide



DATE: 8/27/2020 10:41:08 AM PROJECT: 15000-1109 - Imperial Hwy @ S Main ST (15000-1109-001-CP) DRAWING: 15000-1109-001-CP-SITE PLAN



**1 SITE PLAN**  
A0.0 Scale: 1/8" = 1' - 0"

Sheet Index		INCLUDED	NOT INCLUDED
01	A0.0 SITE PLAN	<input checked="" type="checkbox"/>	<input type="checkbox"/>
02	A1.0 PROPOSED FLOOR PLAN & SHELVING CALCULATION	<input checked="" type="checkbox"/>	<input type="checkbox"/>
03	A2.0 PROPOSED ELEVATIONS	<input checked="" type="checkbox"/>	<input type="checkbox"/>
04	A2.1 PROPOSED COLORED ELEVATIONS	<input checked="" type="checkbox"/>	<input type="checkbox"/>
05	A2.1a PROPOSED COLORED ELEVATIONS - FIVE TENS	<input checked="" type="checkbox"/>	<input type="checkbox"/>
06	A2.2 3D RENDERING	<input checked="" type="checkbox"/>	<input type="checkbox"/>
07	A2.2 ROOF PLAN	<input checked="" type="checkbox"/>	<input type="checkbox"/>
08	A2.3 STORE FRONT SCHEDULE	<input checked="" type="checkbox"/>	<input type="checkbox"/>
09	A2.40 SIGNAGE DETAILS	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10	A2.45 SIGNAGE DETAILS	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11	A2.46 SIGNAGE DETAILS	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12	A2.5 TRASH ENCLOSURE DETAILS	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13	A3.0 CANOPY PLAN	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14	A3.1 CANOPY ELEVATION	<input checked="" type="checkbox"/>	<input type="checkbox"/>
15	A3.2 CANOPY COLORED ELEVATIONS	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16	L1.0 PLANTING PLAN	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17	L1.0 BRIGADION PLAN	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18	L3.0 DETAILS	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19	L4.0 SPECIFICATIONS	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20	E1.0 OUTDOOR PHOTO-METRIC PLAN	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site General Notes**

- GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT / OWNER ANY DISCREPANCIES
- GENERAL CONTRACTOR TO FIELD VERIFY ALL SITE ACCESSIBILITY FEATURES AND NOTIFY ARCHITECT / OWNER ANY NON-COMPLIANCE
- GENERAL CONTRACTOR TO KEEP SITE FREE OF DEBRIS AND PROTECT ALL SITE / LANDSCAPE / HARDSCAPE FEATURES THAT ARE NOT AFFECT THE SCOPE OF WORK
- GENERAL CONTRACTOR TO KEEP DRIVEWAY AND PARKING AREA FREE OF NAILS, SCREWS, AND/OR SCRAP METALS TO PREVENT THE DAMAGES

**Site Vicinity Map**

**PROJEC T SITE**

**Site Data Information** NOT TO SCALE

APN	0287-001-333, 0287-001-030 AND 0287-001-015			
LOT	TRACT # 5039 LOT 20 BK 1			
ZONING	CS-20-CPD			
LOT AREA	SQ. FT. 27,718 RATIO 100%			
BUILDING AREA	OCCUPANCY: M CONSTRUCTION: V-B BUILDING HEIGHT: 7'8" - 11' 0" SQ. FT. 4,277 RATIO 15.4%			
CANOPY AREA	2,375 8.6%			
LANDSCAPE AREA	6,173 22.3%			
PARKING AREA	PARKING STALL SIZE REQUIRED PROVIDED REQUIRED PROVIDED	REGULAR	6' - 0" x 16' - 0" 9' - 0" x 16' - 0" 14 11	
		ACCESSIBLE	6' - 0" x 16' - 0" 6' - 0" x 16' - 0" 1 1	
		LAPD	6' - 0" x 16' - 0" 9' - 0" x 16' - 0" 2 2	
TOTAL			14	14

- Site Key Notes**
- MONUMENT SIGN
  - TRAFFIC LIGHT TO REMAIN, TYP.
  - WATER METER
  - ASPHALT PARKING LOT AND DRIVE AISLES PER CITY 57015
  - DRIVEWAY
  - 4" ROLLARD TYP.
  - PARKING STALL PER CITY 57015
  - ACCESSIBLE PARKING SPACE
  - RAISED TRUNCATED DOME DETECTABLE WARNING
  - SITE ENTRANCE ACCESSIBLE SIGNAGE
  - CONCRETE SIDE WALK MAX. 2% SLOPE E.W.
  - PROPOSED ELECTRICAL TRANSFORMER LOCATION
  - SITE LIGHT, TYP.
  - 6" HD WHITE PAINTED BLUE STRIPES (2 COATS)
  - AIR/VAC UNIT, COMPLY WITH CITY
  - 14' x 15' TRASH ENCLOSURE, REFER TO A2.5 FOR DETAILS
  - LANDSCAPE AREA, REFER TO LANDSCAPE PLAN FOR MORE INFO.
  - CLEAN AIR SEPARATOR W/ ENCLOSURE, REFER TO FUELING CANOPY & UNDERGROUND STORAGE TANK PLAN (DESIGN BY OTHER-UNDER SEPARATE PERMIT)
  - FUELING CANOPY, REFER TO FUELING CANOPY & UNDERGROUND STORAGE TANK PLAN (DESIGN BY OTHER-UNDER SEPARATE PERMIT)
  - UNDERGROUND STORAGE TANK, REFER TO FUELING CANOPY & UNDERGROUND STORAGE TANK PLAN (DESIGN BY OTHER-UNDER SEPARATE PERMIT)
  - 12" GROVED BORDER
  - GAS DISPENSER, TYP.
  - PUBLIC PATH OF TRAVEL
  - POWER POLE
  - SIDEWALK CURB RAMP
  - PROPERTY LINE
  - 2 SHORT-TERM BIKE RACKS
  - 7" HIGH BLOCK WALL
  - 2 LONG-TERM BIKE LOCKERS, MIN. 2 REQUIRED
  - FIRE HYDRANT
  - STREET LIGHT, TYP.
  - CONCRETE WALKWAY TO BE RESURFACED
  - LAPD PARKING ONLY
  - 3" HIGH BROWN RUST FENCE, DARK GREEN IN COLOR
  - CAMERAS ON POLE PER LAPD
  - MAIN SWITCH GEAR

**ASI** ARCHITECTURAL SITE IMPROVEMENT

59102 Buena Avenue, Ste. #107  
Beverly Hills, CA 90210

T: 714-852-8810  
T: 714-852-8812  
F: 800-342-0607

AS Development 2020 © expressly reserved. No portion may be copied, reprinted, republished, or otherwise used without the prior written permission of ASI. The information contained herein is for informational purposes only and does not constitute a contract. ASI and ASI Development are separate entities. ASI Development is a subsidiary of ASI.

Stamp: [Professional Engineer Seal]

**ELEVEN**

Project Location:  
**110 W Imperial Hwy**  
@ Main St  
Los Angeles, CA 90061  
New Building 3,100 SQ. FT.

No.	Date	Revision

Project No: **1045305**  
Scale: As Noted  
Drawn / Checked by: JH  
Date: August 24, 2020

Drawing Title:  
**Site Plan**

Sheet:  
**A0.0**

COPYRENTS



1 3D-BUILDING RENDERING (TOP VIEW)  
A2.1b Scale: N.T.S.



1 3D-BUILDING RENDERING (VIEW FROM INTERSECTION)  
A2.1b Scale: N.T.S.



3902 Duke Avenue, Ste. #107  
Huntington Beach, CA 92648  
T: 714-892-8830  
F: 714-892-8813  
F: 800-542-1601

ASI Development 2008 © hereby  
represents its approval and consent for the use of the  
information contained herein for the purposes stated  
herein. ASI Development 2008 © reserves all other  
rights in this information. This information is not to be  
reproduced, stored in a retrieval system, or transmitted  
in any form or by any means, electronic, mechanical,  
photocopying, recording, or by any information  
storage and retrieval system, without the prior written  
permission of ASI Development.



Project Location:

110 W Imperial Hwy  
@ Main St  
Los Angeles, CA 90061  
New Building 3,100 S.F.

No.	Date	Revision

Project No.: 1045385  
Scale: As Noted  
Drawn / Checked by: TUNP  
Date: August 27, 2020

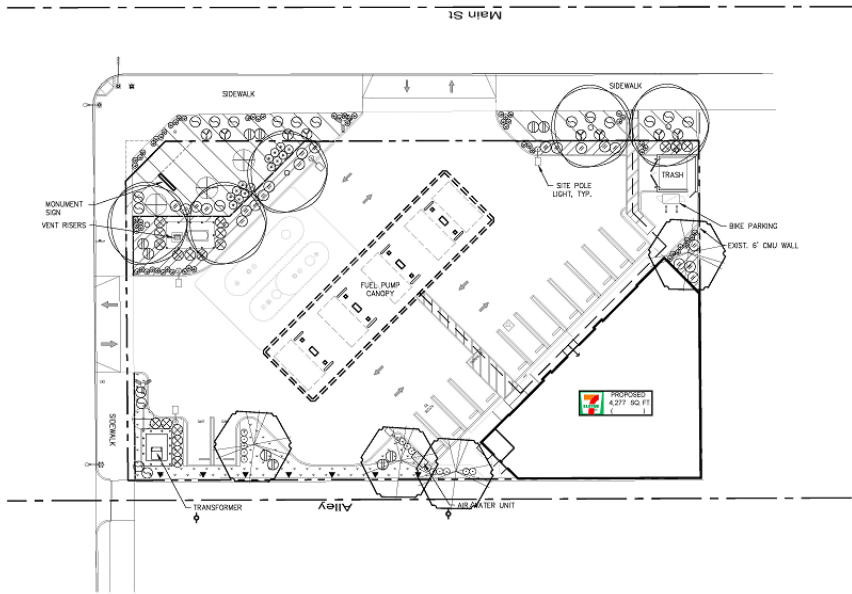
Drawing Title:

3D Rendering

Sheet:

A2.1b

\\020101\c\Users\hvk\Documents\194-Dimens\ASi\Development\194-11 Imperial @ S. Main St. - Lot Aspiration\ASi\_L1.0 Planting.dwg - Plot Date: 8/25/2020 10:28:13 AM



1 PLANTING PLAN  
L1.0 Scale: 1" = 20'



PLANTING NOTES

CONTRACTOR TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. CONFLICTS BETWEEN THE SITE AND THESE PLANS OR WITHIN THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION. ANY DEVIATIONS FROM THE PLANS OR SPECIFICATIONS TO HAVE WRITTEN APPROVAL.  
CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES AND SERVICES PRIOR TO ANY UNDERGROUND DIGGINGS. CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR ALL DAMAGE FOR FAILURE TO DO SO.  
CONTRACTOR TO VERIFY WITH A SOILS ANALYSIS THE PROPER SOIL AMENDMENTS. CONTACT LANDSCAPE ARCHITECT IF THERE ARE ANY INADEQUATE AMENDMENTS.  
SEE PLANTING DETAILS FOR ALL PLANTING AND STAKING / GUYING REQUIREMENTS. ALL SHRUB AND GROUND COVER TO BE INSTALLED 1" ABOVE BACKFILL GRADE. COMPACT BACKFILL TO REDUCE MAJOR SETTLING OF PLANT MATERIAL.  
CONTRACTOR TO RAISE OR LOWER SPRINKLER HEADS TO PROPER LEVEL IF PLANT MATERIAL OBSTRUCTS FULL COVERAGE.  
FERTILIZER FOR ALL GROUND COVER AREAS SHALL BE AS SPECIFIED WITHIN THE SPECIFICATIONS.

THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANT AREAS BY MEANS OF CONTINUOUS WATERING, PRUNING, RAISING TREE BALLS WHICH SETTLE BELOW GRADE, FERTILIZING, APPLICATION OF SPRAYS THAT MAY BE NECESSARY TO KEEP THE PLANTINGS FREE FROM INSECTS AND DISEASES, WEEDING, ROLLING, MOWING, RE-SEEDING, EDGING AND / OR OTHER OPERATIONS NECESSARY FOR PROPER CARE AND UPRKEEP. THE ENTIRE PROJECT TO BE MAINTAINED FOR A PERIOD OF (30) DAYS, COMMENCING FROM THE TIME ALL ITEMS OF WORK HAVE BEEN COMPLETED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.  
ALL TURF AND SHRUB AREAS SHALL BE SEPARATED BY A TRIPLE PLY REDWOOD BENDER BOARD, UNLESS OTHERWISE NOTED.  
CONTRACTOR SHALL INSTALL 4" JUTE MESH NETTING ON ALL SLOPES THAT EXCEED A 2:1 GRADIENT.  
CONTRACTOR SHALL MULCH ALL SHRUB AND GROUND COVER AREAS AFTER INSTALLATION OF PLANT MATERIAL WITH A MINIMUM 3" DEEP LAYER OF COMPOSTED AMENDMENT OR TOP DRESS MATERIAL.  
ALL FINISH GRADES IN SHRUB AREAS SHALL BE 3" BELOW PAVEMENT OR CURBS. ALL FINISH GRADES IN TURF AREAS SHALL BE 1" BELOW PAVEMENTS OR CURBS.  
ALL SPECIMEN TREES SHALL RECEIVE DEEP ROOT BARRIERS WHEN LOCATED WITHIN 5' OF HARDSCAPE. FIGUS SPECIES SHALL RECEIVE DEEP ROOT BARRIERS IN ALL CASES. INSTALL DEEP ROOT BARRIERS PER MANUFACTURERS SPECIFICATIONS, OR AS NOTED.  
REFER TO SPECIFICATIONS FOR STANDARDS OF MATERIALS AND WORKMANSHIP.

PLANT LEGEND

Table with columns: SYMBOL, BOTANICAL NAME / COMMON NAME, QTY., CONTAINER SIZE / MATURE H X W, WATER USE / COMMENTS. Includes entries for TREES (Arbutus 'Marina', Pyrus Kawakami), SHRUBS (Bougainvillea, Callistemon, etc.), WINES (Macratema, Parthenocissus), and GROUNDCOVERS (Carissa, Gazania, Phoradendron).

NOTES:  
PLANTING AREAS SHALL BE MULCHED WITH A THREE INCH (3") MINIMUM LAYER OF ORGANIC WOOD MULCH. AREAS OF GROUNDCOVER PLANTED FROM FLATS SHALL BE MULCHED WITH A ONE AND ONE HALF INCH (1 1/2") MINIMUM LAYER OF ORGANIC WOOD MULCH.  
UNLESS "DEEP ROOT" BARRIERS, 24" DEEP ARE REQUIRED WHEN TREE IS WITHIN 5' OF FINISH CURB/HARDSCAPE.  
REDUCE VISIBILITY OF WATER METERS, BACKFLOW PREVENTORS AND UTILITY CABINETS WITH LANDSCAPING.  
SEE SHEET L2.0 FOR WATER EFFICIENCY CALCULATIONS.

"I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENCY ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN."  
Thomas H Koch  
SIGNATURE

THOMAS H. KOCH LANDSCAPE ARCHITECT  
36483 Emerald Way  
Lake Forest, CA 92550  
(949) 348-9150  
thk@tkac.com  
CA License 3662  
AZ Registration 33915



ASi Development  
1032 Baker Avenue, Box 4107  
Hawthorne, CA 90249  
T: 714-899-8810  
F: 800-342-0507

ASi Development (Owner) hereby certifies that the design of the landscape plan was prepared by a Licensed Professional Engineer in the State of California and that the design complies with the requirements of the California Building Code and the California Fire Code.



PROTO 10.23.2019

Project Location:

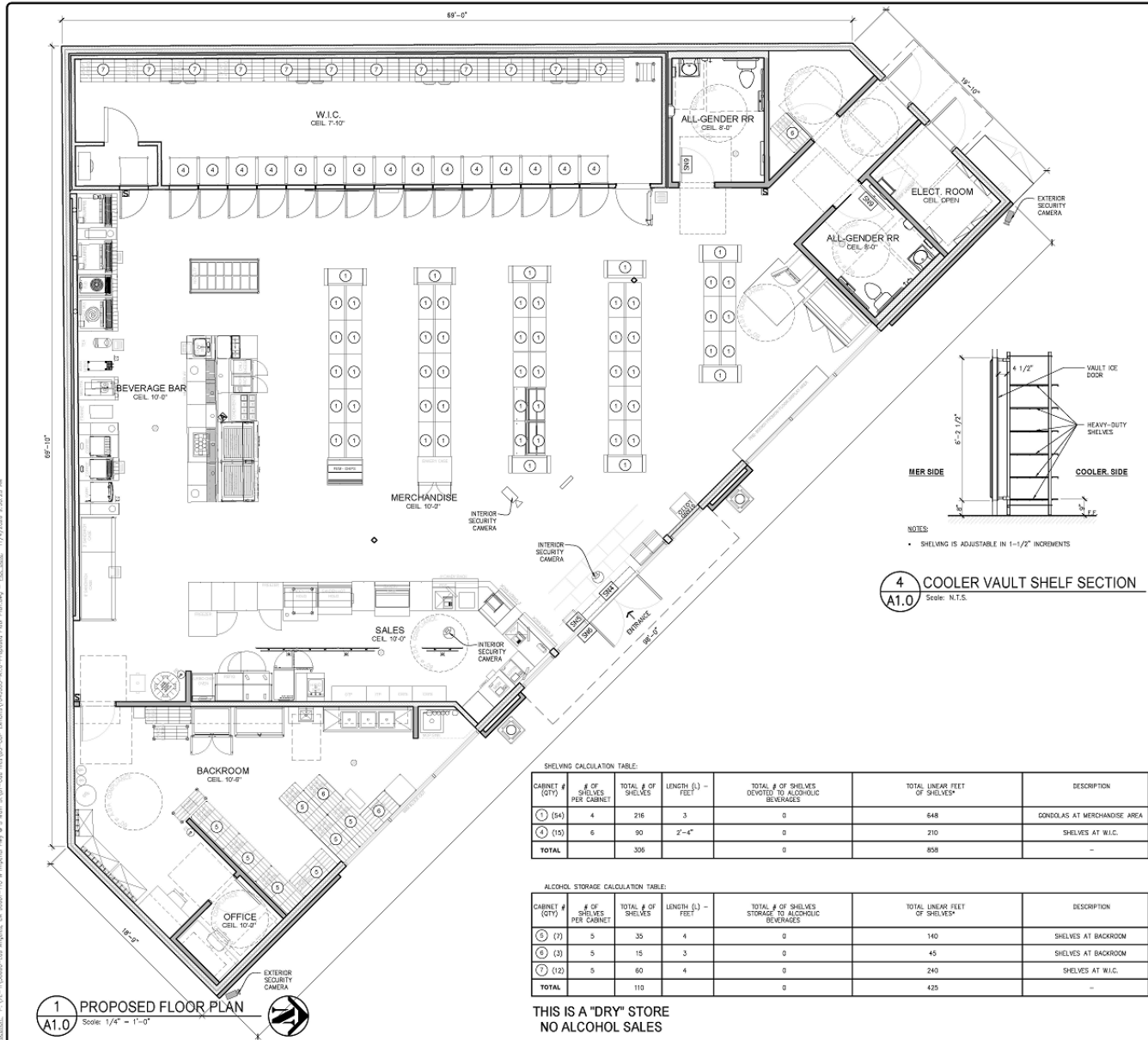
110 W Imperial Hwy  
@ S Main Street, CA 90061  
7-Eleven - Tenant Improvement of 3,094 SQ. FT.

Table with columns: Date, Revision. Includes a signature line for Thomas H. Koch dated August 25, 2020.

Planting Plan

Sheet  
L1.0

11/17/2023 8:30:25 AM  
 FILED: 2023-11-17 08:30:25 AM Imperial Hwy @ S Main St - Case #19137-CDFP (KAWAII) (2023) - ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE  
 11/17/2023 8:30:25 AM



**1 PROPOSED FLOOR PLAN**  
 Scale: 1/4" = 1'-0"

SHELVING CALCULATION TABLE:

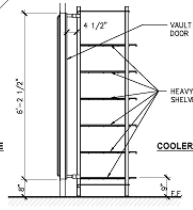
CABINET # (QTY)	# OF SHELVES PER CABINET	LENGTH (L) - FEET	TOTAL # OF SHELVES DEVOTED TO ALCOHOLIC BEVERAGES	TOTAL LINEAR FEET OF SHELVES*	DESCRIPTION	
(4)	54	216	3	0	GONDOLAS AT MERCHANDISE AREA	
(1)	15	6	90	2"-4"	0	SHELVES AT W.I.C.
<b>TOTAL</b>			<b>306</b>		<b>858</b>	

ALCOHOL STORAGE CALCULATION TABLE:

CABINET # (QTY)	# OF SHELVES PER CABINET	TOTAL # OF SHELVES	LENGTH (L) - FEET	TOTAL # OF SHELVES STORAGE TO ALCOHOLIC BEVERAGES	TOTAL LINEAR FEET OF SHELVES*	DESCRIPTION
(2)	5	35	4	0	140	SHELVES AT BACKROOM
(3)	5	15	3	0	45	SHELVES AT BACKROOM
(7)	12	80	4	0	240	SHELVES AT W.I.C.
<b>TOTAL</b>		<b>110</b>		<b>0</b>	<b>425</b>	

**THIS IS A "DRY" STORE**  
**NO ALCOHOL SALES**

**4 COOLER VAULT SHELF SECTION**  
 Scale: N.T.S.



**Layout Information**

GENERAL	BACKROOM
• ROLLER GRILLS	02
• SANDWICH CASE	9' OAC
• VAULT DOORS	12
• LOW TEMP DOORS	00
• ICE MERCH DOORS	01
• NOVELTY CASE	01
• BAKERY CASE	01
• SLURFEE BARRELS	08
• FUELING	Y
• FOOD PROGRAM	N
• COUNTY	LOS ANGELES

MERCHANDISE	BACKROOM
• GONDOLA UNITS	41
• END CAPS	06
• LOW WALLS	03
• HIGH WALLS	00
• TOTAL	50
• POWER WINGS	01

BACKROOM	BUILDING
• OVERHEAD SHELVING	34'
• FLOOR SHELVING	34'
• TOTAL AREA	4,277 SQFT
• SALES FLOOR	350 SQFT = 04 PERSONS
• MERCHANDISE	2,022 SQFT = 37 PERSONS
• BACKROOM	574 SQFT = 04 PERSONS
• OFFICE	44 SQFT = 01 PERSONS
• RESTROOM	146 SQFT = 00 PERSONS
• OCCUPANCY LOAD	46 PERSONS
• TRAVEL DISTANCE (<200')	82'-7"
• COMMON PATH (<75')	74'-4"
• RESTROOMS REQ'D	01
• EXITS REQ'D	02
• DRINKING FOUNTAINS	N
• REFRIGERATION	REMOTE

**DEVIATIONS**

- STAND ALONE LOW TEMP
- 8" CIGARETTE DISPLAY
- LARGER ELECTRICAL ROOM FOR ADDITIONAL PANELS
- ALTO SHAM

**WALL TYPES**

- NEW INTERIOR WALL
- COOLER VAULT WALL
- NEW EXTERIOR WALL, 1 HR FIRE RATE
- NEW 4" EXTERIOR HURR WALL

**Shelving (Backroom & Storage, Dry Storage)**

- (4) 5-TIER 3'-0" X 1'-6" = 60'-0" L.F.
- (8) 5-TIER 4'-0" X 1'-6" = 100'-0" L.F.
- TOTAL = 160'-0" L.F.**

**NOTE:**  
 \* USE APPROX SHELVING  
 \* MAXIMUM HEIGHT SHALL BE 3'-9" INCLUDING STOCKING GOODS. SEE ELEVATION.

**Signage Notes**

- SN1 ALL GENDER RESTROOM
- SN2 N/A
- SN3 EMPLOYEES ONLY  
THIS DOOR IS TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED.  
(NOTE: THE SIGN SHALL BE IN LETTERS 1 INCH HIGH ON A CONTRASTING BACKGROUND.)
- SN4
- SN5 EXIT TACTILE SIGN PER LOCAL BUILDING CODE
- SN6 ENTRANCE SIGN
- SN7 ACCESSIBLE ENTRANCE SIGN
- SN8 INTERIOR SECURITY CAMERAS BY OTHERS, TYPICAL
- SN9 LAPD AND SECURITY PERSONNEL ONLY

5002 Dulles Avenue, Ste. #107  
 Huntington Beach, CA 92648  
 T: 714-882-8810  
 F: 714-882-8812  
 F: 909-945-1007  
 ASI Development 2016 © expressly reserves all system use, copyright and property rights in these plans. These plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be prepared for use by any party without the obtaining the express written approval and consent of ASI Development.  
 Stamp:

---

Project Location:

---

**110 W Imperial Hwy**  
**@ Main St**  
**Los Angeles, CA 90061**  
 New Building 3,100 S.F.

---

No.	Date	Reason

Project No: **1045305**  
 Scale: As-Noted  
 Drawn / Checked by: TWMP  
 Date: November 4, 2023

---

Drawing Title: **Proposed Floor Plan**  
 Sheet: **A1.0**

CUP EXHIBITS





4  
- VITAMIN AND MINERAL WATERS



5  
- VARIETY OF HEALTHY JUICE AND PROTEIN DRINKS



6  
- OVER-THE-COUNTER MEDICINES



7  
- AVAILABILITY OF PRODUCTS NORMALLY AVAILABLE IN GROCERY STORES



1  
- FRESH SANDWICHES, SALADS AND FRUIT CUPS PREPARED DAILY



2  
- FRESH WHOLE FRUITS AND FRUIT CUPS



3  
- FRESH WHOLE FRUITS DISPLAY



## Feasibility of Installing EV Charging Stations

- The installation of one (1) commercial DC Fast Charger (DCFC) will require the installation of two (2) units because one (1) of the units must be designated for handicap use.
- The cost to procure and install two (2) DCFC units is estimated at \$200,000 dollars
- DCFC units require 480 VAC / 3-phase power and a 40 to 80-amp dedicated circuit to provide a direct current (DC) output range between 31-62kW.
- Will require a dedicated meter and possibly a dedicated line from the utility transformer.
- May also require a larger utility transformer than what is currently being proposed
- LADWP has a rebate program for the installation of DCFC's on commercial properties; however, funding is limited and there is an enrollment / application process.
- 7-Eleven is exploring its options but is not able to commit to installing the units.



# Questions and Answers





# Contact Information

Adan Madrid  
ASI Development  
(949) 235-9538  
[adan@asidvm.com](mailto:adan@asidvm.com)